

Yellowknife Condominium Corporation No. 50 and 54  
Cavo Condominiums  
Yellowknife, NT X1A 0C2

June 28, 2022

Development Appeal Board  
c/o City Clerk's Office  
City of Yellowknife  
P.O. Box 580  
Yellowknife, NT X12A 2N4

**Re: Development Permit Application No. PL-2022-0075**

Yellowknife Condominium Corporation No. 50 and 54 which represents the Cavo Condominiums of Niven Lake Phase V is writing this letter to formally appeal the above noted Development Permit Application No. PL-2022-0075.

As per Government of the Northwest Territories Community Planning and Development Act (2013), Division B – Appeals, 62 (1), this appeal is submitted on the grounds that we are adversely affected by the development, (a) there was a misapplication of a zoning bylaw in the approval of the application.

To start, while not on an appeal ground, we have concerns that the zoning bylaw itself was changed without notifying the residents directly affected, to accommodate a larger development. This is important to highlight since the city's Niven Lake Phase V website, until this week, told the public that Block 307, Lot 12 was zoned for 49 units. Only this week the website was updated to inform it is now zoned for 70 units. We do not believe the city acted in residents' interests by increasing the density of Niven Lake Phase V without making this information clear to the public as part of the zoning bylaw amendments. The amended bylaw was approved in March 2022. The development was approved in April 2022. The community plan on the city's website was only changed this week, after the news of the development's approval was made public. This does not inspire confidence that the city's efforts are in good faith.

Our formal appeal is the City of Yellowknife is lacking important traffic and density impact data that is irresponsible to allow this development to proceed prior to gathering this data and analyzing it in relation to this development. We understand from other concerned affected residence that no traffic study has been done in the area since 2012. The Traffic Impact Study in 2012 for Niven Lake Phase V was completed when none of the roads or buildings yet existed. In the 2012 Study the projection for 2022 saw a road existing as part of Phase VIII development, extending Hagel Drive to loop around and connect to Moyle Drive allowing for two entry/exists from Niven Lake Phase V. Now, in 2022, no such road exists, nor is it expected to be built, reducing the access by road to one intersection which is on a curving road reducing visibility from one direction.

The City of Yellowknife Zoning By-law 5045 (March 14, 2022) section 4.4.4, states when considering a development application, “The Development Officer may also require any of the following...” “d) a traffic Impact analysis prepared by a qualified professional which shall address, but not be limited to, Impact on adjacent public roadways, pedestrian circulation on and off-Site, vehicular movement circulation on and off-Site, turning radius diagrams for large truck movement on and off-Site, and any other similar information required by the Development Officer;”

The floor plan design of the development shows that 56 of the 70 units are two-bedroom/two-bathroom units with the remaining 14 units being one-bedroom/one-bathroom units meaning the development’s intention is to have a minimum of 126 occupants in the building. Parking spot requirements by the City for 70 units is 56 units, the developer is planning for 71 parking spots, exceeding City Zoning requirements.

It can be reasonably expected that 126 occupants will own and need to park and plug in more than 71 vehicles. If the City is relying on street parking to accommodate the potential 55 tenant vehicles not accommodated within the development’s parking. Currently, additional vehicles owned by Cavo residents park on available street parking adjacent to the condominium and is already in use.

Within the Development Permit Technical Review Report there is a recommendation that a Traffic Impact Study be completed AFTER this development is completed. Intentionally planning to collect important data after it is needed to make long-term development decisions about the area is backwards and a conscious decision to exclude critical data in evaluating a development proposal. It would be irresponsible for the City of Yellowknife to allow this development to proceed as currently presented without data from a current traffic Impact analysis.

This Appeal meets the Government of the Northwest Territories’ Community Planning and Development Act Appeal Board Procedures, Evidence and Hearing notice as follows:

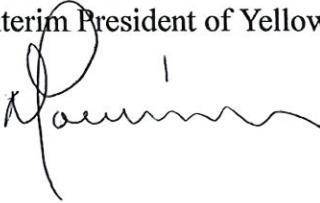
- (a) Reason for the Appeal - there was a misapplication of a zoning bylaw in the approval of the application.
- (b) Summary of fact supporting the reason – it is irresponsible that the Development Officer did not require a traffic Impact analysis be completed PRIOR to consideration and approving the development.
- (c) Relief Sought – that the City suspend this development approval until the results of a traffic Impact analysis can be considered related to the City changing the lot configurations and original roadway/traffic projections for 2022 in the 2012 traffic Impact study
- (d) Filing Fee –\$25 is attached to this appeal letter.

We are adversely affected by Development Permit Application No. PL-2022-0075 by the significantly increased number of vehicles that will be parking in the development’s parking lot, the anticipated significantly inadequate amount of street parking for the anticipated number of vehicles for the development, and the movement of all of those vehicles through a single

intersection access point that was not intended to handle this volume of traffic in the 2012 Traffic Impact Analysis.

We look forward to hearing from the Appeal Board within the required 30 days of this appeal being received.

Dave Fournier  
Interim President of Yellowknife Condominium Corporation No. 54

A handwritten signature in black ink, appearing to read 'Fournier', with a large initial 'D' and a horizontal line extending to the right.

Carrie Lehman  
Treasurer of Yellowknife Condominium Corporation No. 50

A handwritten signature in black ink, appearing to read 'Carrie', with a horizontal line extending to the right.

Yellowknife Condominium Corporation No. 50 and 54  
Cavo Condominiums  
Yellowknife, NT X1A 0C2  
??@gmail.com

June 28, 2022

Development Appeal Board  
c/o City Clerk's Office  
City of Yellowknife  
P.O. Box 580  
Yellowknife, NT X12A 2N4  
(BY HAND??)

**Re: Development Permit Application No. PL-2022-0075**

Yellowknife Condominium Corporation No. 50 and 54 which represents the Cavo Condominiums of Niven Lake Phase V is writing this letter to formally appeal the above noted Development Permit Application No. PL-2022-0075.

As per Government of the Northwest Territories Community Planning and Development Act (2013), Division B – Appeals, 62 (1), this appeal is submitted on the grounds that we are adversely affected by the development, (a) there was a misapplication of a zoning bylaw in the approval of the application.

To start, while not on an appeal ground, we have concerns that the zoning bylaw itself was changed without notifying the residents directly affected, to accommodate a larger development. This is important to highlight since the city's Niven Lake Phase V website, until this week, told the public that Block 307, Lot 12 was zoned for 49 units. Only this week the website was updated to inform it is now zoned for 70 units. We do not believe the city acted in residents' interests by increasing the density of Niven Lake Phase V without making this information clear to the public as part of the zoning bylaw amendments. The amended bylaw was approved in March 2022. The development was approved in April 2022. The community plan on the city's website was only changed this week, after the news of the development's approval was made public. This does not inspire confidence that the city's efforts are in good faith.

Our formal appeal is the City of Yellowknife is lacking important traffic and density impact data that is irresponsible to allow this development to proceed prior to gathering this data and analyzing it in relation to this development. We understand from other concerned affected residence that no traffic study has been done in the area since 2012. The Traffic Impact Study in 2012 for Niven Lake Phase V was completed when none of the roads or buildings yet existed. In the 2012 Study the projection for 2022 saw a road existing as part of Phase VIII development, extending Hagel Drive to loop around and connect to Moyle Drive allowing for two entry/exists from Niven Lake Phase V. Now, in 2022, no such road exists, nor is it expected to be built, reducing the access by road to one intersection which is on a curving road reducing visibility from one direction.

The City of Yellowknife Zoning By-law 5045 (March 14, 2022) section 4.4.4, states when considering a development application, “The Development Officer may also require any of the following...” “d) a traffic Impact analysis prepared by a qualified professional which shall address, but not be limited to, Impact on adjacent public roadways, pedestrian circulation on and off-Site, vehicular movement circulation on and off-Site, turning radius diagrams for large truck movement on and off-Site, and any other similar information required by the Development Officer;”

The floor plan design of the development shows that 56 of the 70 units are two-bedroom/two-bathroom units with the remaining 14 units being one-bedroom/one-bathroom units meaning the development’s intention is to have a minimum of 126 occupants in the building. Parking spot requirements by the City for 70 units is 56 units, the developer is planning for 71 parking spots, exceeding City Zoning requirements.

It can be reasonably expected that 126 occupants will own and need to park and plug in more than 71 vehicles. If the City is relying on street parking to accommodate the potential 55 tenant vehicles not accommodated within the development’s parking. Currently, additional vehicles owned by Cavo residents park on available street parking adjacent to the condominium and is already in use.

Within the Development Permit Technical Review Report there is a recommendation that a Traffic Impact Study be completed AFTER this development is completed. Intentionally planning to collect important data after it is needed to make long-term development decisions about the area is backwards and a conscious decision to exclude critical data in evaluating a development proposal. It would be irresponsible for the City of Yellowknife to allow this development to proceed as currently presented without data from a current traffic Impact analysis.

This Appeal meets the Government of the Northwest Territories’ Community Planning and Development Act Appeal Board Procedures, Evidence and Hearing notice as follows:

- (a) Reason for the Appeal - there was a misapplication of a zoning bylaw in the approval of the application.
- (b) Summary of fact supporting the reason – it is irresponsible that the Development Officer did not require a traffic Impact analysis be completed PRIOR to consideration and approving the development.
- (c) Relief Sought – that the City suspend this development approval until the results of a traffic Impact analysis can be considered related to the City changing the lot configurations and original roadway/traffic projections for 2022 in the 2012 traffic Impact study
- (d) Filing Fee –\$25 is attached to this appeal letter.

We are adversely affected by Development Permit Application No. PL-2022-0075 by the significantly increased number of vehicles that will be parking in the development’s parking lot, the anticipated significantly inadequate amount of street parking for the anticipated number of vehicles for the development, and the movement of all of those vehicles through a single

intersection access point that was not intended to handle this volume of traffic in the 2012 Traffic Impact Analysis.

We look forward to hearing from the Appeal Board within the required 30 days of this appeal being received.

Yellowknife Condominium Corporation No. 50 and 54  
...@gmail.com

**SEE APPENDIX A –  
ZONING BY-LAW NO. 5045**

SEE APPENDIX B –  
NIVEN LAKE PHASE 5 TRAFFIC  
STUDY



**Residential Zones (R2)**  
**Development Permit Technical Review Report**  
 Planning and Development Department, City of Yellowknife

*Internal Review Doc*



Permit # PL-2022-0075

**Required Sign-Offs for all Development Permits:**

Title	Technical Review Criteria	Date	Signature
Development Officer	All development permits requiring a review of site regulations	June 10, 2022	Vic Fontanilla
Peer Review (Planner)	All residential uses, discretions, and variances		
Manager, Planning & Lands	All residential uses, discretions, and variances		<i>Not applicable this time N/A</i>
Director, Planning & Development	Multi-unit (> 4 units) dwellings, discretions, variances, and conditionally permitted uses	<i>June 7/22</i>	<i>[Signature]</i>
Director or Manager, Public Works	Grading, site servicing, traffic, vehicular access, and new driveways	<i>June 6/22</i>	<i>email</i>

**Development Permit Application Recommendation:**

Decision	Further explanation including reasons and conditions to be met
Approve with conditions	<ol style="list-style-type: none"> <li>1. The Development shall comply with all stamped approved plans and with the executed Development Agreement;</li> <li>2. Landscaping and hardscaping shall be completed by September 30th, 2024 and maintained for the life of the development, as indicated in the stamped approved plans and Development Agreement;</li> <li>3. Plants used for landscaping shall be of capable healthy growth in Yellowknife, grown from northern stock, with certification that the plants are grown north of 54 degrees latitude;</li> <li>4. A Surveyor's Real Property Report shall be submitted to the City prior to occupancy. The Real Property Report must indicate i) all permanent features on site and ii) finished grades at all corners of the lot and buildings and periodic grades every 20m;</li> <li>5. The property owner is responsible for freeze protection of water lines during construction;</li> <li>6. Outdoor lighting on the proposed development shall be sufficient only to provide for safety, security, display or attraction for any development shall be arranged so that no direct rays of light are projected to adjacent properties or interfere with the effectiveness of</li> </ol>

**Residential Zones (R2)**  
**Development Permit Technical Review Report**  
 Planning and Development Department, City of Yellowknife



Permit # PL-2022-0075

	<p>any traffic control device;</p> <p>7. The Developer shall delineate all parking spaces on the property and install on-site signs;</p> <p>8. The Developer shall delineate and identify with visual indicators a minimum of 3 accessible parking spaces on the property and 1 loading and unloading zone;</p> <p>9. The Developer shall install waste, compost and recycling bins with screening; and</p> <p>10. A Water Connect Permit will be required for the water and sewer services to each building. Permit application must include Plan and Profile drawings for the servicing that are signed and stamped by an Engineer registered with NAPEG. For information on the permit contact <a href="mailto:construction@yellowknife.ca">construction@yellowknife.ca</a>.</p>
--	---

**Applicant Information:**

Permit Number	PL-2022-0075					
Application Date	April 21, 2022					
Legal Description	Lot:	Portions of Lots 11 & 12	Block:	307	Plan:	4441
Zoning	R2 – Medium Density Residential. To provide an area for medium to higher Density residential Development					
Civic Address	No Address. It is on Hagel Drive near Cavo and Redcliff Condos					
Applicant Name	Milan Mrdjenovich					
Property Owner Name	507726 N.W.T. LTD					
Contact Telephone(s)	Home:		Work or Cell:	780-920 6315		
Email and/or Fax	<a href="mailto:milan@mrdjenovich.ca">milan@mrdjenovich.ca</a>					

**Development Permit Application Technical Review**  
**(Regulated by Zoning By-law No. 5045)**

**Residential Zones (R2)**  
**Development Permit Technical Review Report**  
 Planning and Development Department, City of Yellowknife



Permit # PL-2022-0075

**1) Application Compliance:**

Application Requirements	Submitted? (Please check ✓)		
	Yes	No	Waived or N/A
<b>Site Planning</b>			
All dimensions in metric	✓		
Location and dimensions of all <b>existing</b> structures or use	✓		
Location and dimensions of <b>proposed</b> structure or use	✓		
Setbacks (front, side, rear)	✓		
Lot lines	✓		
Street Names	✓		
Landscaping	✓		
Existing and proposed driveways	✓		
Drainage showing gradient	✓		
Location of outdoor fuel storage facilities	✓		
Location of any easements affecting the site	✓		
Form, mass, and character of development	✓		
Building façade and materials	✓		
Floor plan (except detached dwellings)	✓		
Elevation drawings and exterior dimensions	✓		
Grading (existing, proposed, spot elevations)	✓		
<b>Confirmation of Services</b>			
Services can be provided to proposed development	✓		
Proposed development does not infringe on easements	✓ there is a partial easement on the rear yard, but it does not impact the location of the building		
Satisfactory arrangement for supply of municipal services	✓		
Satisfactory arrangement for street access	✓		

**2) Zoning Review**

Using the requirements for the zone of the proposed development, describe the existing and proposed development. Include any additional information as required.

**Residential Zones (R2)**  
**Development Permit Technical Review Report**  
 Planning and Development Department, City of Yellowknife



Permit # PL-2022-0075

Existing Development	Vacant lot
Proposed Development	A Multi-Unit building consisting of 70 units.
Permitted/Conditionally Permitted/Not Permitted?	Permitted
Surrounding Neighbourhood	Mix of R2 (high density), R2 (medium density), and R1 (low density) development
Proposed addresses comply with the Municipal Address By-law? (check with the Geomatics Officer)	No address assigned yet. Yes, will not have an issue assigning.

**3) Site Regulations:**

Regulations	Required	Proposed	% variance from required	
Lot width ( <i>Section 10.2</i> )	15m	Ave. 60m	none	
Lot depth ( <i>Section 10.2</i> )	<i>Not regulated</i>		n/a	
Maximum Site Area ( <i>Section 10.2</i> )	9,000 sq.m. max.	5,870 sq.m. (and as per approved subdivision plan)	none	
Site coverage of principle/accessory building ( <i>Section 10.2</i> )	55%	31.3% (1,841.75/5,870)	none	
Building height ( <i>Section 10.2</i> )	15m	14.46m	none	
		at Bldg. Corner. ref. dwg. no. A1-003		FG: Finished Ground (m)
		1		177.00
		2		175.85
		3		176.20
		4		175.55
		1. Average Ground Elevation		<b>176.15</b>
		2. Main Floor level		<b>177.50m</b>

**Residential Zones (R2)**  
**Development Permit Technical Review Report**  
 Planning and Development Department, City of Yellowknife



Permit # PL-2022-0075

		<table border="1"> <tr> <td>3. Top of the Parapet wall, the highest level</td> <td>190.61m</td> </tr> <tr> <td>4. Building Height (190.61m-176.15m)</td> <td>14.46m</td> </tr> </table>	3. Top of the Parapet wall, the highest level	190.61m	4. Building Height (190.61m-176.15m)	14.46m	
3. Top of the Parapet wall, the highest level	190.61m						
4. Building Height (190.61m-176.15m)	14.46m						
Front yard setback (Section 10.2)	1m	4.8m					
Side yard setback (Section 10.2) (unenclosed deck overhangs-protrudes by 0.4m into the required min. setback; max. allowed protrusion is 1.2m; see also definition of "projection")	3m	3.13m	none				
Rear yard setback (Section 10.2)	6m	6.06m & 12m	none				
Off-street parking (Type B-2.6m x 5.6m) (Section 7.8.4 Multi-Unit Dwelling (10 units or more)= 0.8 per Dwelling Unit and no more than 2 per Dwelling Unit)	56 stalls	67	Proposed is more than what is required				
Off-Street Loading Spaces (Section 7.8.12 at least one space for 15 units or more)	1 space	1 space, 3m x 9m	none				
Accessible Parking Space-handicapped (Section 7.8.5 Accessible Parking Space Requirements a) A minimum of 1 Type "A" Parking Space shall be provided for every 20 Parking Spaces (Type A-4m x 5.6m)	56/20=2.8 spaces  Or  70/20=3.5 spaces (7.8.2(c) rounded down	3 spaces, 4m x 5.6m  <i>71 total -</i>	none				

**4) Landscaping:**



Formula for Calculation	Result
Zone landscaping requirement	A minimum 100% of the Residual Area shall be Landscaped.
Residual area = Total site area – Developed site area	5,861 m <sup>2</sup> -4,669 m <sup>2</sup> = 1,192 m <sup>2</sup>
Required trees = Residual area / 25 m <sup>2</sup>	<b>48</b>
Required Shrubs = Residual area / 12.5 m <sup>2</sup>	

Landscaping	Required	Proposed
Landscaped area (m <sup>2</sup> )		
Number of trees	48	48
Shrubbery	95	95
Landscaped area (m <sup>2</sup> ); specs as per Dwg.no. A1-004	1,192 m <sup>2</sup>	1,192 m <sup>2</sup>

**General Landscaping Requirements**

*Section 7.5.4 Landscape Plan Requirements*

a) n/a

b) *Where a Landscape area is 500 m<sup>2</sup> or greater is required, a detailed Landscape plan prepared by a landscape architect or landscape technologist shall be submitted with the application for Development in compliance with the Landscaping regulations specified in this By-law, which shall include the lands proposed for Development as well as municipal reserves.*

c) *The detailed Landscape plan (or Site plan) shall be prepared in accordance with the City's Development Standards.*

*Section 7.5.3 R2*

i. *A minimum 100% of the Residual Area shall be Landscaped.*

ii. *Required Landscape areas must be covered with either seed/sod, mulch beds, paving stones, walkways, Amenity Spaces, raised planters or other Landscaping materials.*

iii. *Retention and preservation of existing natural vegetation and bedrock is encouraged.*

**Proposed**

TREES # PROVIDED				
SYMBOL	BOTANICAL NAME	COMMON NAME	SPREAD (meters)	NO.
<b>DECIDUOUS TREES</b>				
	PRUNUS VIRGINIANA	SHADBLOW	3.6m x 6m	18
	PRUNUS PAVIA	BLACKBERRY	3.6m x 3.6m	18
<b>CONIFEROUS TREES</b>				
	LARIX LARicina	TIMBERSPRUCE	6m x 20m	12

SHRUBS # PROVIDED				
SYMBOL	BOTANICAL NAME	COMMON NAME	SPREAD (meters)	NO.
	PHYSCOCARPUS OXYFOLIUS	WINTERGREEN	2.4m x 2.4m	35
	SPIROBOLUS	SILVER CHERRY	2.4m x 2.4m	37
	AMPELOPS	AMPELOPS	1.5m x 1.5m	15
	PRUNUS MUSA	SWISS MOUNTAIN CHERRY	1.5m x 1.5m	12

All shrub beds to be covered with 50-100mm of fibrous washed rock or mulch over 5.00m<sup>2</sup> and larger with woven fabric or fabric mesh over woven geotextile fabric. All plant material shall meet the horticultural standards of the most current edition of the "Guide Specifications for Nursery Stock", produced by the Canadian Nursery Trade Association. All plants shall be suitable for the specific application and hardy to the region and actual site conditions. The most current edition of the "NMI Horticultural Guide 1991" be used as reference.

**5) Vehicular Access and On-Site Traffic:**

Requirements	Yes	No	N/A
Grade of parking area or driveway is not greater than 8%	✓		
At street intersections, driveways are set back from lot boundaries to ensure safety and efficiency of existing or planned traffic volumes	✓		

**Residential Zones (R2)**  
**Development Permit Technical Review Report**  
 Planning and Development Department, City of Yellowknife



Permit # PL-2022-0075

Driveways are separated by necessary distance to ensure safety and efficiency of existing or planned traffic volumes	✓		
Queuing of vehicles does not impact public roadways and will be designed to enhance on-site vehicular circulation and parking.	✓ Required a Stop sign to each exit points		
Driveways and on-site parking have positive surface drainage to the roadway	✓		

6) **Variance(s):** No Variance, Not applicable

**7) Analysis:**

Provide your analysis, using the City’s regulatory documents, of the following issues (use additional pages if required). Include variances, alternatives to requirements, recommendations, justifications, and any other pertinent information.

<b>Drainage and grading</b>	-Drainage and grading complies with Zoning By-law requirements and Development & Design Standard Policy. ZBL Section 7.1.2. Proposed Development shall incorporate proper Lot surface drainage so that the removal of surface waters will not adversely affect adjacent properties or the public storm drainage system. - In Reviewed by City of Yellowknife Public Works & Engineering - Reviewed by City of Yellowknife Public Works & Engineering.
<b>Landscaping (Soft and Hard)</b>	Complies with Zoning By-law Section 7.5.3 requirements and Development & Design Standard Policy Section 9. See breakdown above and approved landscaping dwg. no. A1-004.
<b>Parking and driveways</b>	Parking minimums are met.
<b>Architecture</b>	Not a Zoning By-law requirement. However, comments on the building design: The main floor-1 <sup>st</sup> floor of the building is wheelchair-accessible and with service elevator. The roof is flat with parapet wall around. The building has recessed exterior walls and a balcony on each unit. The overall length of the building is 83m (272 feet) facing southwest, with exterior wall finish colour break every 9.75 m(32ft.).



<p><b>Design standards</b></p>	<p>There is no Design Guidelines in the R2 zone where the subject property is located.</p>
<p><b>Site development</b></p>	<p>The proposed development is on the north end of Hagel Drive and the north edge of Niven Phase 5 adjacent to a green space PR and NA zones; it will include walking-connection to existing Niven trail networks.</p> <p>The proposed 4-Story Apartment building is oriented to the southwest with broad spatial separations between the closest portion of the building against the adjacent existing and future buildings, ranging from 32m to 45 m.</p> <p><b>Land Development:</b> The Niven Phase 5 subdivision has been in the development phase for over two decades due to the insolvency of Bond Street Ventures in early 2000, the distressed sale to Nova Developments, and the City’s repurchasing of lots in 2012. Recently, the City re-subdivided the remaining lots (see preliminary survey plan) to eliminate notable site constraints, such as the City’s Lift Station that was part of Lot 12 and Hagel Dr. without a turnaround. As a result, Lots 31 to 35 and Lot 142 were created. Lot 35 will be designated as PR. Lot 31 was sold to 507726 NWT LTD. The sale of Lot 31 and other Lots that may finally be sold and developed is the best option to solve the long-standing undeveloped and unsightly construction zone.</p>



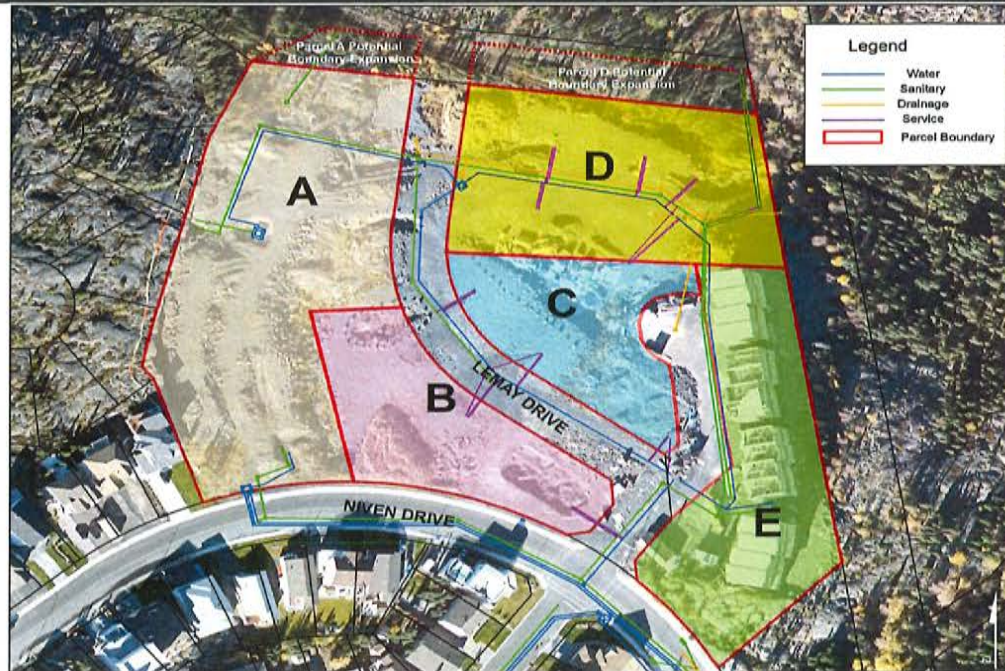
**Residential Zones (R2)**  
**Development Permit Technical Review Report**  
 Planning and Development Department, City of Yellowknife  
 Permit # PL-2022-0075



<p><b>Variance(s)</b></p>	<p>No Variance</p>	



<p><b>Other (explain):</b></p>	<p><b>2019 Community Plan:</b>                  A review of relevant policies contained within Community Plan have been reviewed as a part of this plan examination. The intent of all relevant policies have been met.</p> <p>Section 4.5 Niven Residential                  Niven, as identified on the Niven Residential Land Use Designation Map (Map 8), is a residential area that is located adjacent to the downtown core and provides easy access to the core of the City by vehicle and alternative transportation modes. It will continue to be a mix of low, medium and <b>high density</b> residential uses.</p> <p><b>Area Development Plan (Scheme):</b>                  On February 28, 2004, Council adopted The Development Scheme 2004, By-law No. 4339. As a result, Niven Phase 5 was designated as Medium Density Residential.</p> <p><b>Zoning By-law no. 5045:</b>                  The subject property is within zone R2 – Medium Density Residential.                  The purpose of the zone is to provide an area for medium to <b>higher Density</b> residential Development that encourages a mix of Dwelling types and compatible Uses.</p> <p><b>Density:</b>                  The initial Development Permit for the site under Bond Street Properties Ltd. was for 92 units based upon public concerns of over-densification. The subject lands however were zoned R3 – Medium Density Residential, permitting one unit per 125m<sup>2</sup> of land. The density condition with Bond Street Properties Ltd. was established within the sales agreement and not as a zoning overlay. In May 2016 Council adopted a motion to increase the density and re-subdivision (re-parceling). The City prescribed a revised density of 181 units. However with a total area of 28,348 m<sup>2</sup> the Phase 5- R3 zone would have <b>permitted 230 units</b>.</p>
--------------------------------	---



**Niven Phase 5 - Density**

Parcel	Land Area (sq.m.)	Proposed Max. Density based on January 2012 appraisal from Stewart Weir McDonald	May 9, 2016 Council Approved Revised Density	As of 2022-Developed Units	Estimate at Full Build Out	Remarks
A (Lots 116,123,109)	9,602	76 units	76	56	71	
B (Lot 94)	3,949	14 units	20	14	20	
C (Lot 11)	3,371	14 units	20	0	12	less PR area
<b>D (Lot 12) now is Lot 31 new Preliminary Survey</b>	<b>6,098</b>	<b>48 units</b>	<b>49</b>	<b>0</b>	<b>70</b>	Nova PL-2022-0075, on portions of Lot 12 & 11
E	5,328	16 units	16	16	16	
<b>Total</b>	<b>28,348</b>	<b>168 units</b>	<b>181</b>	<b>86</b>	<b>189</b>	

**Notes:**

1. ZBL 4404, as amended would have permitted 230 units using the density formula of 125 sq.m. per unit.
2. Parcel D (using Lot 31 land area of 5,870 sq.m.) would have permitted 46 units only as the Lift



Station Lot was excluded.

3. ZBL 5045 adopted by Council in March 2022, removed the density regulations.

4. Not Developable Areas for Dwelling Units:

Lift Station Lot = 791 sq.m.

Park Lot = 501 sq.m.

Turnaround half bulb= 419 sq.m.

**Traffic Impact Analysis (2012 CTS Report):**

**Conclusions:**

1) Currently, there are five proposed parcel sites for the Phase V development, which is proposed to consist of up to 156 residential dwelling units in total comprised of Parcel A (64 units), Parcel B (14 units), Parcel C (14 units), Parcel D (48 units), and Parcel E (16 units). For the purposes of this study, it was assumed that all five parcels would be constructed and fully occupied by the year 2017.

2) The five parcels combined are estimated to generate a total of 73 vehicle trips during the weekday morning in peak hour (i.e. 12 inbound and 61 outbound) and 84 vehicle trips during the weekday afternoon in peak hour (i.e. 53 inbound and 28 outbound). This is equivalent to an average of 1.4 vehicle movements per minute during the busier afternoon peak hour, which from a traffic engineering point of view is not considered significant.

3) The traffic impact assessment determined that by the year 2022 (i.e. 5 years post buildout), separate left and right turning lanes will be warranted on Niven Gate at Highway 4. As well, the west approach of the intersection of Franklin Avenue & 43rd Street will need to be restriped to provide for separate eastbound left and right turn lanes by the year 2022.

**Recommendations**

Based on the findings of this study, the following is recommended:

1) That City of Yellowknife monitor traffic volumes at the intersection of Franklin Avenue & 43rd Street to determine when restriping of the east approach is required to provide for separate left and right turn lanes on 43rd Street.

2) That the Northwest Territorial Department of Transportation and the City of Yellowknife monitor the intersection of Highway 4 & Niven Gate to determine when Niven Gate should be widened to provide for separate westbound left and right turn lanes.



**Development Officer Comments:**

The TIA recommends that in 2022 after a five-year post-buildout of 156 units, separate left and right turning lanes will be necessary on Niven Gate at Highway 4 and the intersection of Franklin Avenue and 43rd Street.

To date, there were only 86 units developed and built. Assuming the proposed 70 units will be completed in 2 years in 2024, there will be a total of 156 units, equal to the number of units used in the study. The Niven entrance was widened in 2016 as per CTS recommendation, while the intersection of Franklin Avenue and 43rd Street remains unchanged. I recommend that the City conduct a new TIA for the whole Niven subdivision within 3 to 4 years to update the Franklin Avenue & 43rd Street situation as the new Zoning By-law 5045 has no more density requirements. In addition, there are multi-units currently under construction in other Phases, and it is expected to have more and including in Phase 5.

**Sun Shadow Analysis:**

Three dates of the year were selected for shadow verification, and none will affect the neighbouring residential properties.

The Proposed building casting shadows:

- On June 21 at 12 noon by 13m towards North
- On September 21 at 12 noon by 25m towards North
- On December 21 at 12 noon by 195m towards North

**Peak (height) of the Proposed Building Compared to Neighborhood Buildings :**

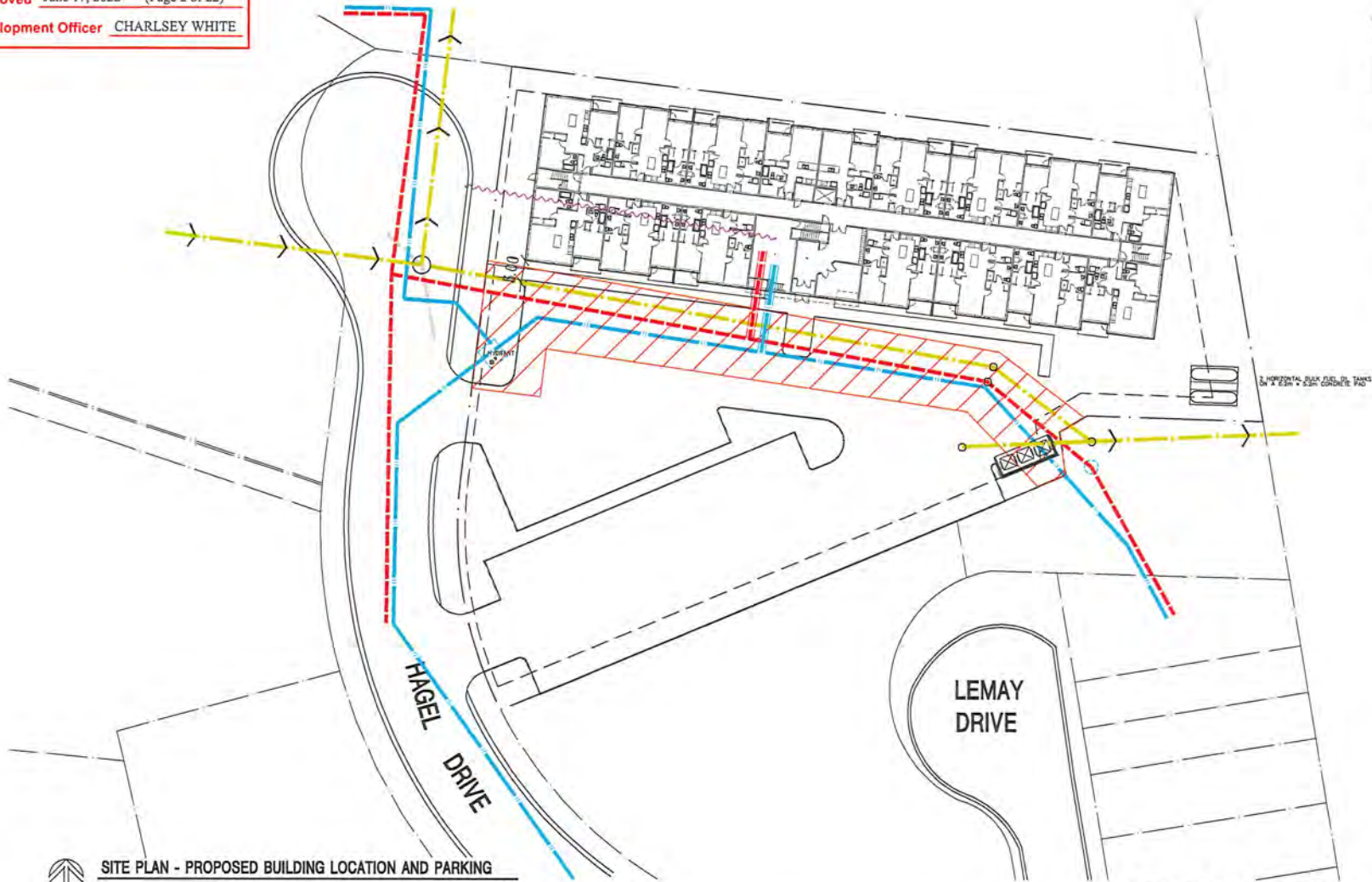
The proposed building roof peak is significantly lower than the neighbourhood buildings. And compared to the internal policy site specific factor that the height of any proposed structure shall not exceed 193.7m- CGVD2013 (194 m vertical datum 1928) above sea level to ensure appropriate relationships with adjacent land.

Property	Storey	Roof Peak Elevation (Above Sea Level CGVD2013 )
<b>Proposed 70 Units-The View Apt.</b>	<b>4</b>	<b>190.6</b>
Cavo Condominium-56 Units	3	193.7
Redcliff-Lemay, Units 13 to 16	3	192.7
Redcliff-Lemay, Units 1 to 4	3	193.2
Redcliff-Hagel Condos, Lot 138 Block 308	2	191.2
Lot 64 Block 308, 5 McMagoon	2	202.5
Lot 100 Block 308, 7B McMagoon	2	201.4





City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 2 of 22)  
 Development Officer CHARLSEY WHITE



**SITE DATA**

LOT A, BLOCK 307	5,861 SQ.M. = 63,087 SQ.FT.
SITE AREA:	
PROPOSED BLDG. 1 (4 STONEY 70 ROOM APARTMENT FOR RENT)	
14 - ONE BEDROOM UNITS	
56 - TWO BEDROOM UNITS	
SITE COVERAGE:	
FOUNDATION FOOTPRINT	1,879 SQ.M. = 20,384 SQ.FT.
MAIN FLOOR COVERAGE	1,775 SQ.M. = 19,113 SQ.FT.
TOTAL BUILDING AREA	7,094 SQ.M. = 76,377 SQ.FT.
PROPOSED FLOOR AREA RATIO	1.204/5.861 = 1.210
PROPOSED SITE COVERAGE	1,819/5,861 = 31.0%

**LEGEND**

DISTING WATER LINE	Blue dashed line
PROPOSED WATER LINE	Blue solid line
DISTING STORM	Yellow dashed line
PROPOSED SANITARY	Red dashed line
DISTING SANITARY	Red solid line
PROPOSED ELECTRICAL CONNECTION	Purple dashed line

**SITE PLAN - PROPOSED BUILDING LOCATION AND PARKING**  
 1:250

**NOTE:**  
 The applicant shall obtain and verify all dimensions and notes and shall ensure that all dimensions and notes are correct. The applicant shall ensure that all dimensions and notes are correct. The applicant shall ensure that all dimensions and notes are correct.

CONSULTANT:

SEAL:

ISSUE:

**WILLIAM  
 RUTLEDGE  
 ARCHITECT**

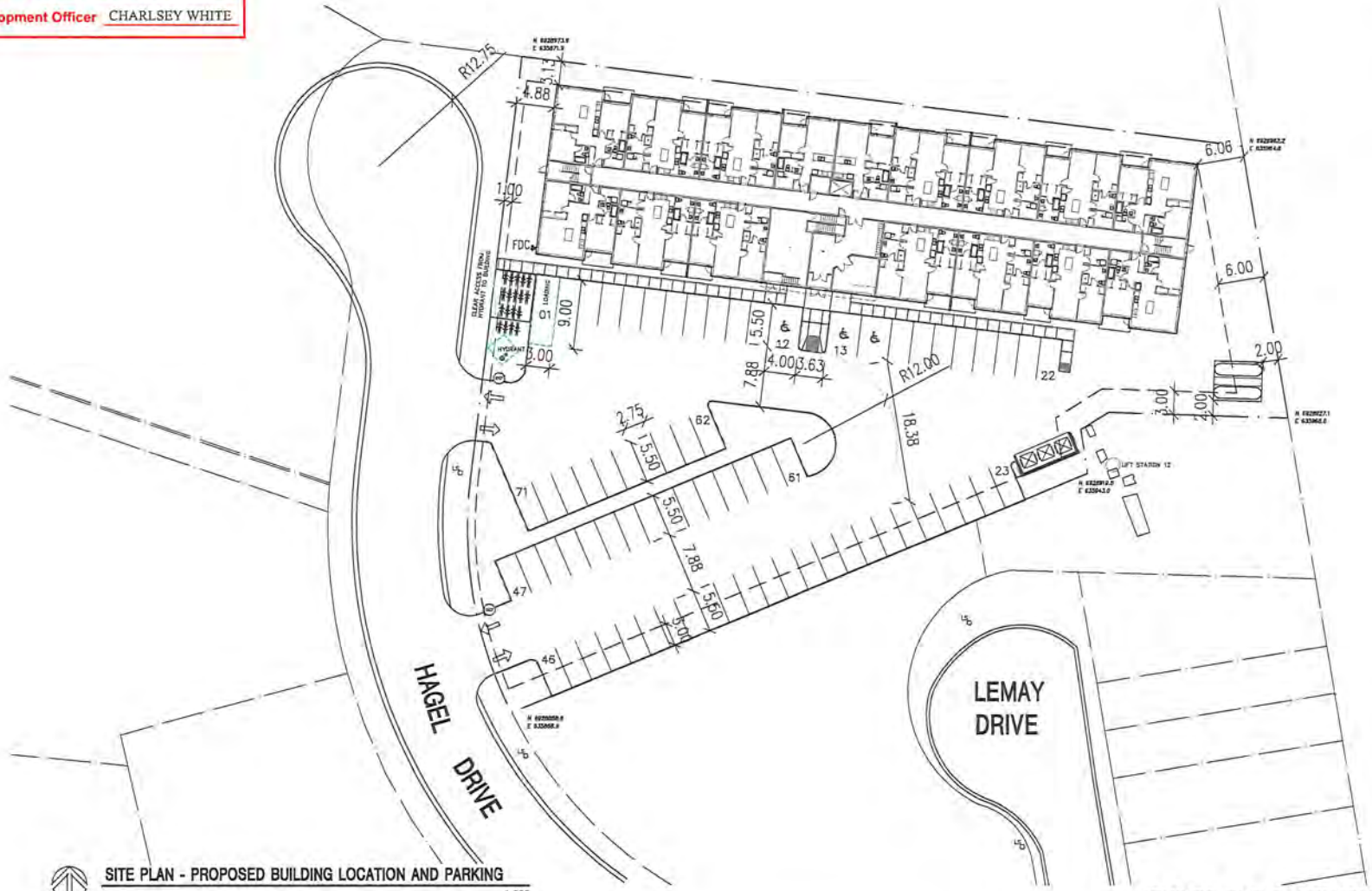
REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022

PROJECT:  
**THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.**

DWG:  
**A1-001**  
 JOB NO: 21-0400



City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 3 of 22)  
 Development Officer CHARLSEY WHITE



**SITE DATA**

LOT A, BLOCK 307  
 SITE AREA: 5,887 SQ.M. = 53,087 SQ.FT.  
 PROPOSED BLDG. 1 (6 STOREY 70 ROOM APARTMENT FOR RENT)  
 14 - ONE BEDROOM UNITS  
 56 - TWO BEDROOM UNITS

SITE COVERAGE:  
 FOUNDATION FOOTPRINT 1,819 SQ.M. = 19,584 SQ.FT.  
 MAIN FLOOR COVERAGE 3,775 SQ.M. = 41,113 SQ.FT.  
 TOTAL BUILDING AREA 7,594 SQ.M. = 82,697 SQ.FT.  
 PROPOSED FLOOR AREA RATIO 1,304/5,887 = 2.219  
 PROPOSED SITE COVERAGE 1,819/5,887 = 30.9%

**PARKING DATA**

REQUIRED PARKING - ONE PER UNIT (70 STALLS)  
 PROVIDED PARKING - 73 STALLS (ONE LOADING)  
 REQUIRED BARRIER-FREE - 1 FOR EVERY 20 STALLS (3 STALLS)

STALL SIZE OVER 800MM AT 2.70M WIDE X 5.50M LONG  
 BARRIER FREE STALLS AT 4.00M WIDE X 5.50M LONG

REQUIRED BICYCLE PARKING - 1 PER 2 UNITS (35 SPACES)  
 PROVIDED BICYCLE PARKING - 36 SPACES

**SITE PLAN - PROPOSED BUILDING LOCATION AND PARKING**  
 1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 13, 2022

**NOTE**  
 The architect shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and special conditions shall be indicated before proceeding. All work required with the permit of this work to be completed shall be with appropriate all drawings and notes shall be the property of the architect and must be returned to him at completion of the work.

CONSULTANT: \_\_\_\_\_

SEAL: \_\_\_\_\_

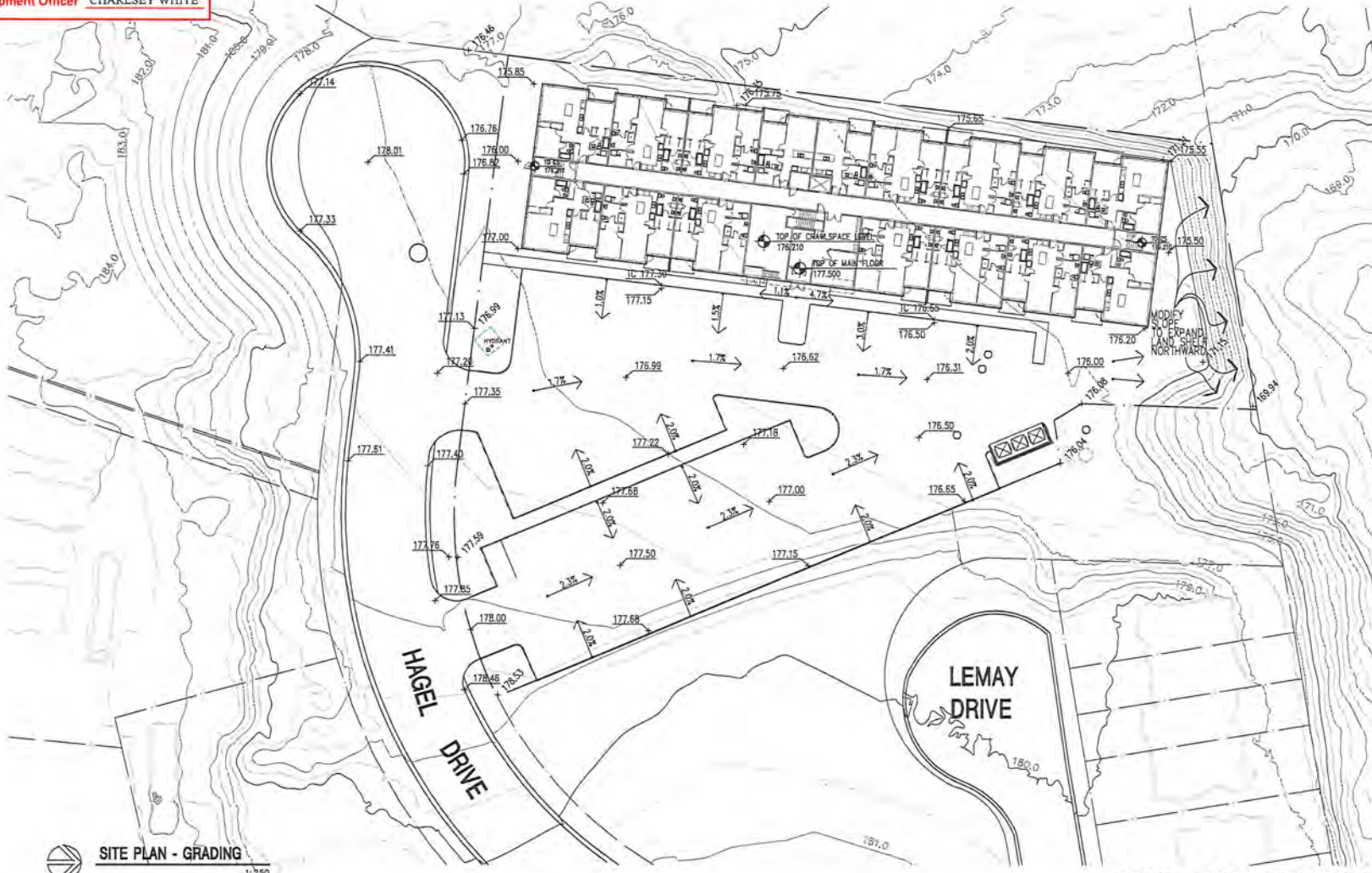
ISSUE: \_\_\_\_\_

**WILLIAM RUTLEDGE ARCHITECT**

PROJECT: **THE VIEW APARTMENTS PHASE 5 - NIVEN LAKE LOT A, BLOCK 307, PLAN 4441 YELLOWKNIFE N.W.T.**

DWG: **A1-002**  
 JOB NO: 21-0400

City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 4 of 22)  
 Development Officer CHARLSEY WHITE



**SITE DATA**  
 EXISTING ELEVATIONS BASED ON STANTEC'S GRADING PLAN  
 DESIGN ELEVATION (FINISHED) +199.999  
 SLOPE INDICATOR (SLOPES DOWN-UNID.)  
 VERTICAL DATUM CGVD2013:CGG2013c

**AVERAGE BUILDING HEIGHT**  
 THE MAIN FLOOR LEVEL IS SET AT 177.50 GEO. THE ROOF PARAPETS AT THE CORNERS OF THE BUILDING IS TO BE 15'-0" (13.1m) ABOVE THE MAIN FLOOR AT 190.60 GEO.  
 USING ONLY THE CORNERS OF THE BUILDING, WHICH ARE 177.28 + 176.89 + 175.55 + 176.20 = 704.92 / 4 = 176.23 GEO AVERAGE  
 176.89 + 176.15 GEO AVERAGE

**SITE PLAN - GRADING**  
 1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022

**NOTE:**  
 The engineer shall check and verify all dimensions and measurements of existing structures on this drawing and site plan drawings. Specifications and material quantities shall be verified before proceeding with the project. The engineer shall provide professional services to the project at all stages of the work.

CONSULTANT:

SEAL:

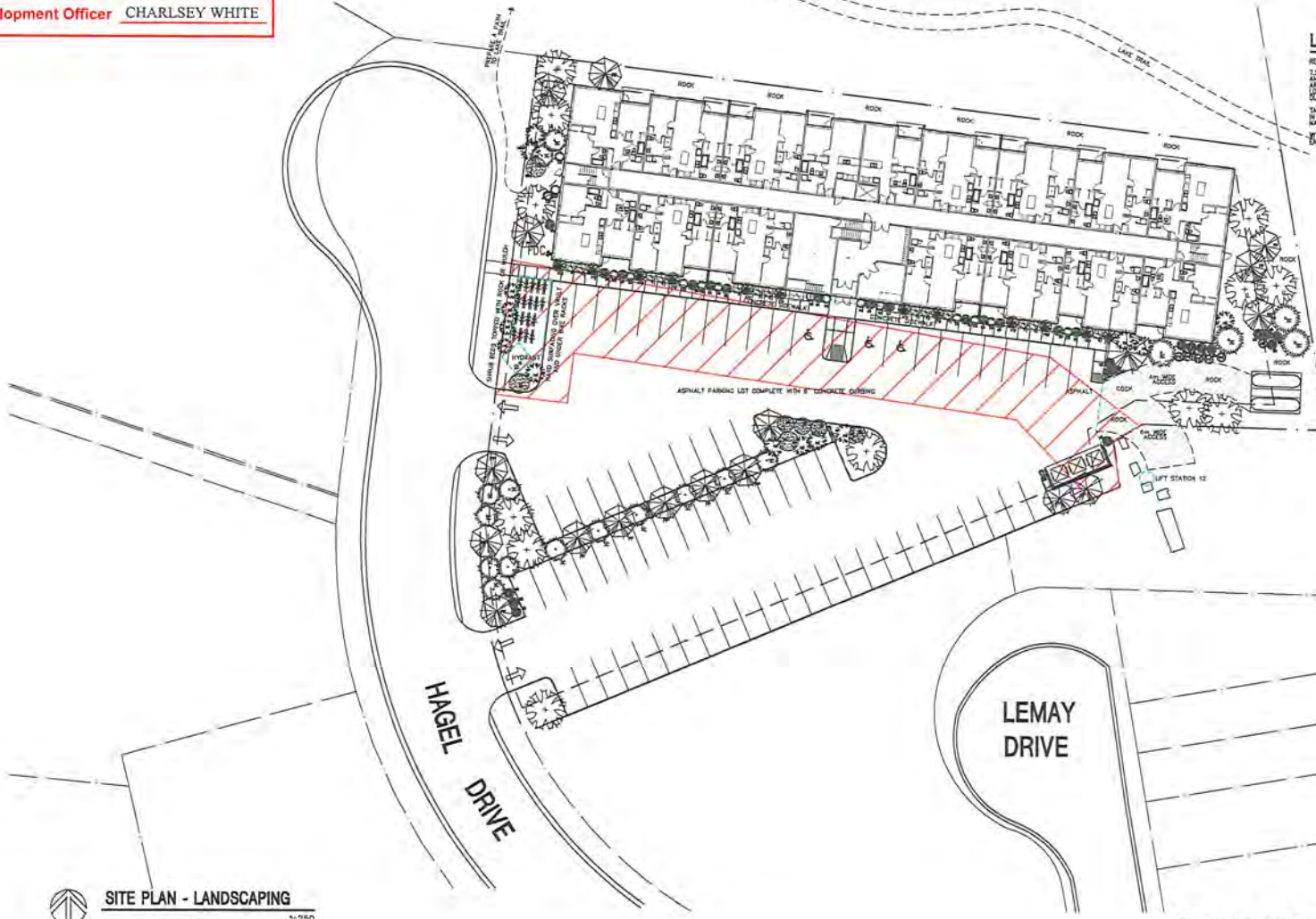
ISSUE:

**WILLIAM  
 RUTLEDGE  
 ARCHITECT**

PROJECT:  
**THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.**

DWG.  
**A1-003**  
 JOB NO: 21-0400

City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 5 of 22)  
 Development Officer CHARLSEY WHITE



**LANDSCAPE DATA**

REQUIRED LANDSCAPING  
 2.5.1 (a) OF THE YELLOWKNIFE ZONING BY-LAW STATES THAT ANY PART OF THE LOT NOT COVERED BY FOOTING OR OTHER AREA OF STRUCTURE, EXCEPT FOR DRIVEWAYS, PATIO AREAS, OUTDOOR TERRACES IS TO BE MAINTAINED AS LANDSCAPE AREA.  
 TABLE 2-1 OF 7.5.1 NOTES THAT 100% OF RESIDENTIAL AREA IS TO BE MAINTAINED AS LANDSCAPE AREA.  
 WITHIN THE RESIDENTIAL AREA NO CALCULATED ONE TREE PER EACH 200 M<sup>2</sup> AND TWO SHRUBS FOR EACH 200 M<sup>2</sup> IS REQUIRED.

TREES 48 PROVIDED				
SYMBOL	BOTANICAL NAME	COMMON NAME	SPREAD (APPROX)	NO.
DECIDUOUS TREES				
sc	PRUNUS VIRGINIANA "SCHUBERT"	SCHUBERT CHOKECHERRY	3.6m w 8m t	18
pp	PRUNUS PADUS	MAYDAY	7.6m w 9.1m t	18
CONIFEROUS TREES				
l	LARIX LARICANA	TAMARACK	6m w 20m t	12

SHRUBS 58 PROVIDED				
SYMBOL	BOTANICAL NAME	COMMON NAME	SPREAD (APPROX)	NO.
nd	PHYSCOCARPUS OPUULIFOLUS "MONLO"	NEEBARK DIABLO	2.4m w 2.4m t	35
sb	SHEPHERDIA ARGENTEA	SILVER BUFFALOBERRY	3m w 4m t	37
ej	JUNIPERUS COMMUNIS "EFFUSA"	EFFUSA COMMON JUNIPER	1.5m w 1.0m t	13
mp	PINUS MUGO	SWISS MOUNTAIN DWARF MUGO PINE	1.5m w 1.0m t	12

All shrub beds to be covered with 50-100mm of 15mm# washed rock or mulch over 0.39oz. weed barrier ultra woven fabric or Nixax 4339 non-woven geotextile fabric.  
 All plant material shall meet the horticultural standards of the most current edition of the Guide Specifications for Nursery Stock, produced by the Canadian Nursery Trade Association.  
 All plants shall be suitable for the specific application and hardy to this region and actual site conditions. The most current edition of the NWT Horticultural Guide shall be used as reference.

**SITE PLAN - LANDSCAPING**  
 1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 16, 2022

NOTE:  
 The applicant shall obtain and verify all dimensions and measurements of existing structures on this drawing and site plan drawings. Specifications for materials and methods shall be verified before proceeding with the project. The applicant shall ensure that the project complies with all applicable laws and regulations. All dimensions and notes are provided for the information of the client and are not to be used as a basis for construction.

CONSULTANT:  
 \_\_\_\_\_

SEAL:  
 \_\_\_\_\_

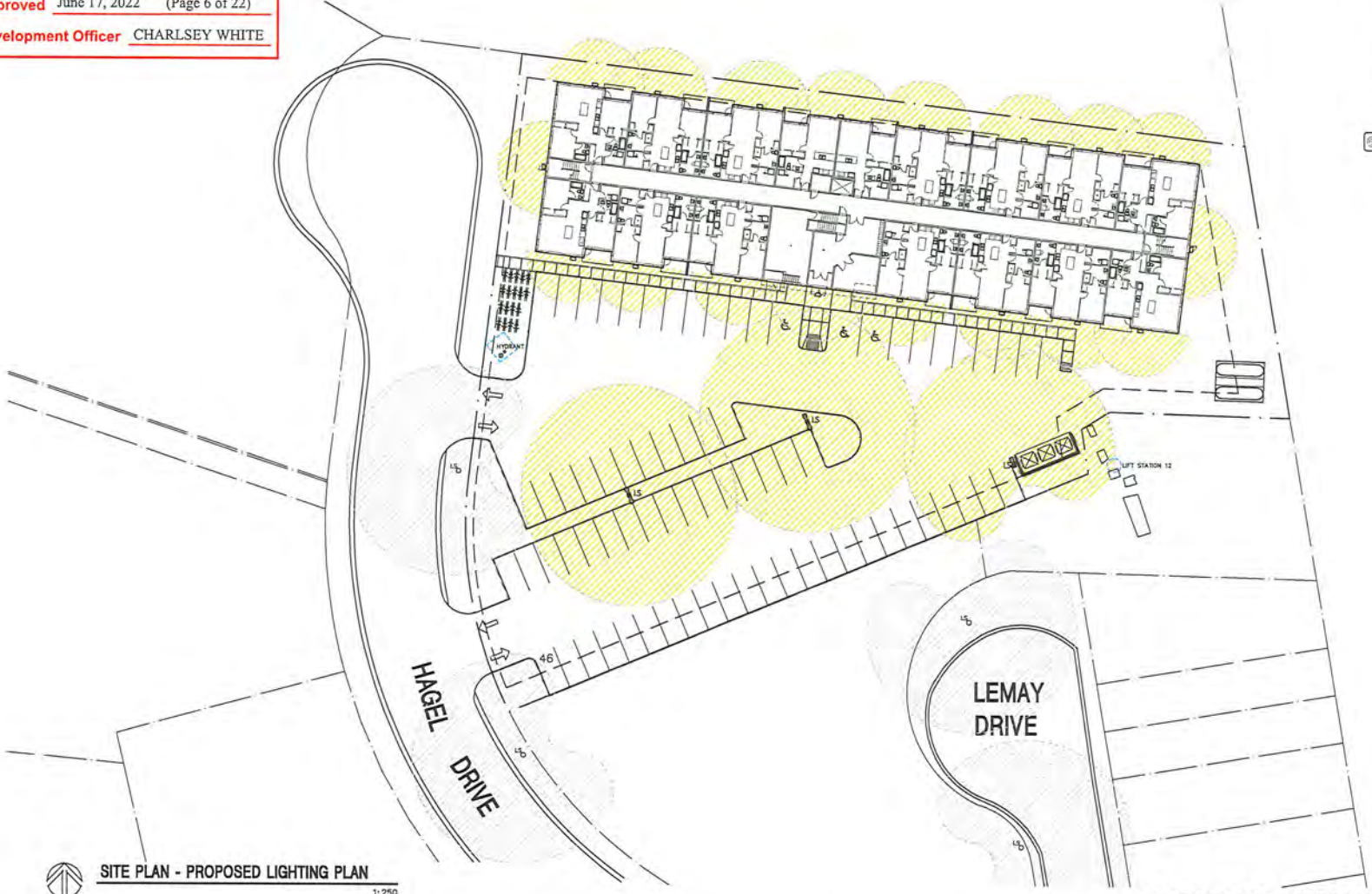
ISSUE:  
 \_\_\_\_\_

**WILLIAM  
 RUTLEDGE  
 ARCHITECT**

PROJECT:  
**THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.**

DWG.  
**A1-004**  
 JOB NO: 21-0400

City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 6 of 22)  
 Development Officer CHARLSEY WHITE



**LEGEND** NEW SITE LIGHTING

- LITHONIA LIGHTING OLW 23 LED WALL LIGHT  
 "NIGHTTIME FRIENDLY" WITH FULL CUTOFF ABOVE 90°  
 2720 LUMENS AT 5000K  
 DOWNCAST WALL LAMP  
 SURFACE MOUNTED
- LITHONIA LIGHTING KAX1 AREA LIGHT  
 "NIGHTTIME FRIENDLY" WITH FULL CUTOFF ABOVE 90°  
 8200-22000 LUMENS AT 5000K  
 DOWNCAST POLE MOUNTED AREA LAMP  
 FOR SMALL TO MEDIUM SIZED PARKING LOTS

**SITE PLAN - PROPOSED LIGHTING PLAN**  
 1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 7 2022

**NOTE**  
 The contractor shall obtain and verify all dimensions and measurements of materials shown on this drawing and verify them on-site. Responsibilities and on-site verification shall be the responsibility of the contractor. The contractor shall be responsible for any errors or omissions on this drawing. All drawings and prints shown are the property of the architect and shall not be used for any other purpose without the written consent of the architect.

CONSULTANT:

SEAL:

ISSUE:

**WILLIAM  
 RUTLEDGE  
 ARCHITECT**

PROJECT:  
**THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.**

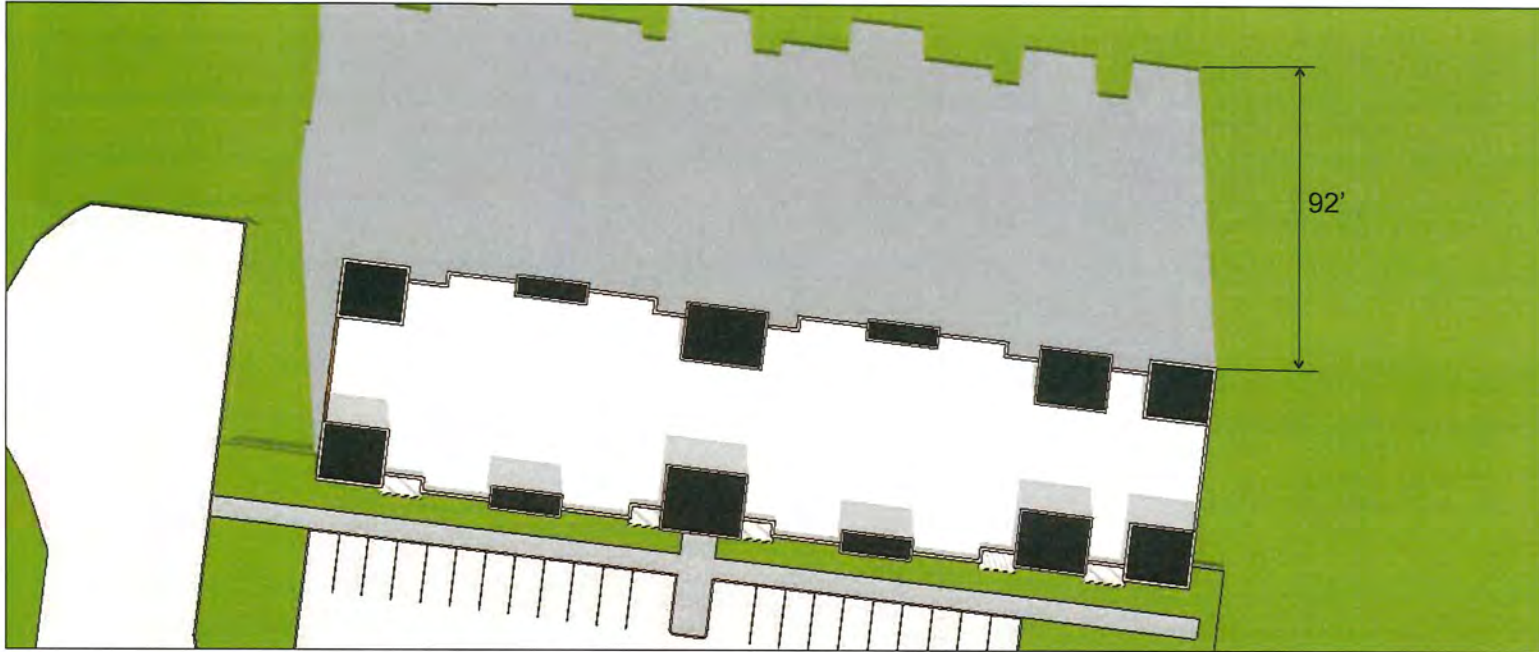
DWG.  
**A1-005**  
 JOB NO: 21-0400

City of Yellowknife

Development Permit # PL-2022-0075

Approved June 17, 2022 (Page 7 of 22)

Development Officer CHARLSEY WHITE



**BUILDING SHADOW - MARCH 21, 12 NOON**

**NOTE:**

The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with their drawings. Specifications and service standards where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

**CONSULTANT:**

[Empty box for Consultant signature]

**SEAL:**

[Empty box for Seal]

**ISSUE:**

[Empty box for Issue]

#2C2, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM  
RUTLEDGE  
ARCHITECT**

**PROJECT**

**THE VIEW APARTMENTS  
PHASE 5 - NIVEN LAKE  
LOT A, BLOCK 307, PLAN 4441  
YELLOWKNIFE N.W.T.**

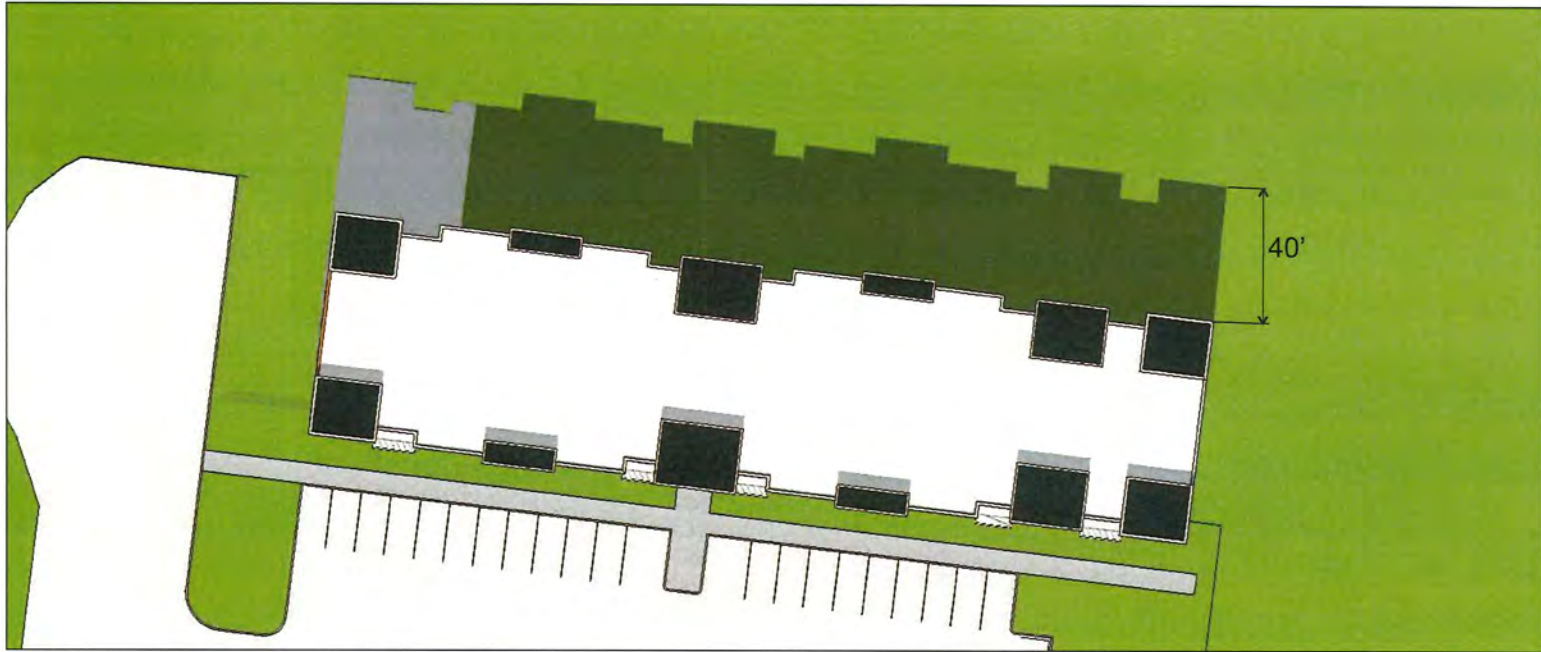
TEL: 1-780-454-3422 FAX: 1-780-482-2921

**DWG.**

**A1-006**

JOB NO. 21-0400

**ISSUED FOR REVIEW MAY 30, 2022**



**BUILDING SHADOW - JUNE 21, 12 NOON**

ISSUED FOR REVIEW MAY 30, 2022

**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with their drawings. Specifications and materials shall be as shown unless otherwise noted. In the event of any discrepancy, the contractor shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancy. All drawings and notes issued are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

SEAL:

ISSUE:

WILLIAM  
 RUTLEDGE  
 ARCHITECT

PROJECT  
**THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.**  
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:  
**A1-007**  
 JOB NO. 21-0400

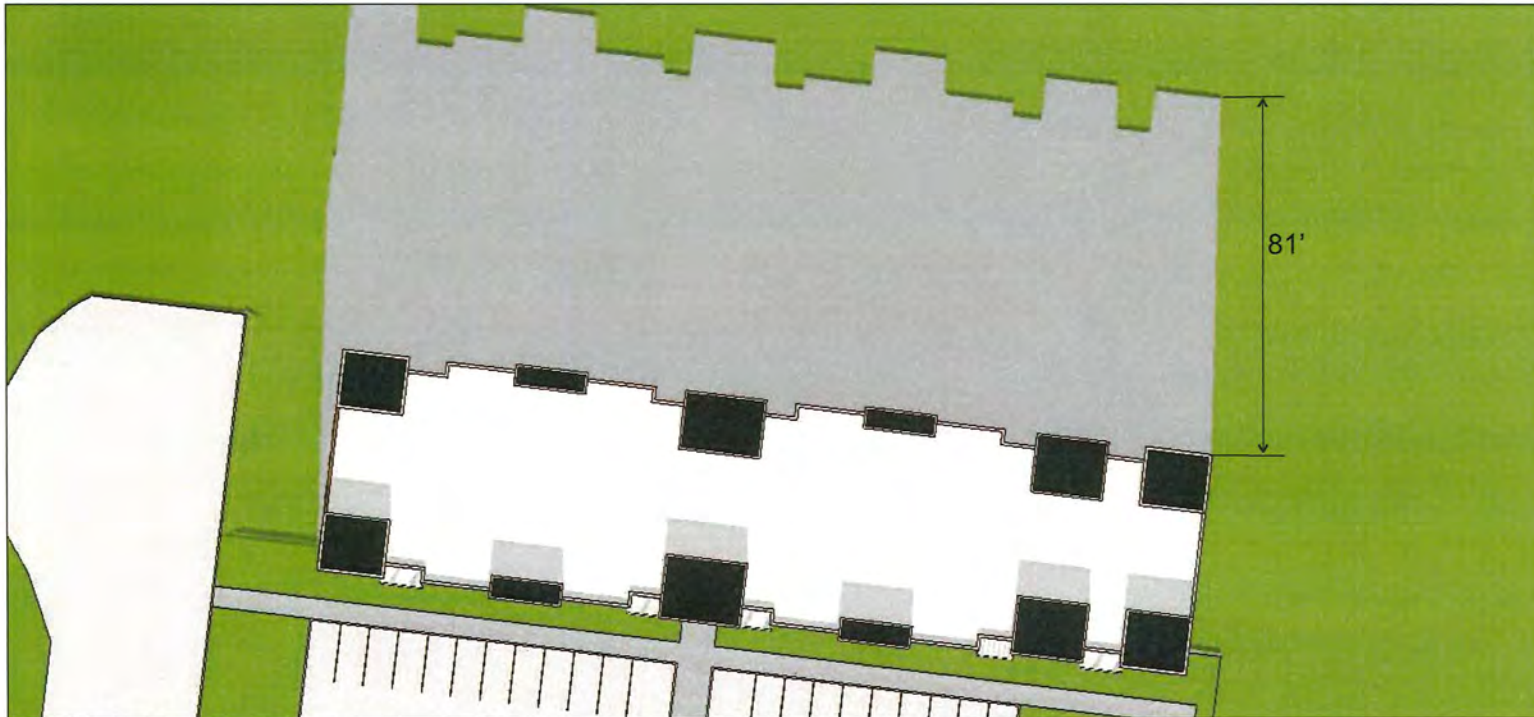
#2C2, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

City of Yellowknife

Development Permit # PL-2022-0075

Approved June 17, 2022 (Page 9 of 22)

Development Officer CHARLSEY WHITE



**BUILDING SHADOW - SEPT. 21, 12 NOON**

ISSUED FOR REVIEW MAY 30, 2022

**NOTE:**  
The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and service conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints issued are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

[Empty box for Consultant signature]

SEAL:

[Empty box for Seal]

ISSUE:

[Empty box for Issue]

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM  
RUTLEDGE  
ARCHITECT**

PROJECT

**THE VIEW APARTMENTS  
PHASE 5 - NIVEN LAKE  
LOT A, BLOCK 307, PLAN 4441  
YELLOWKNIFE N.W.T.**

TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:

**A1-008**

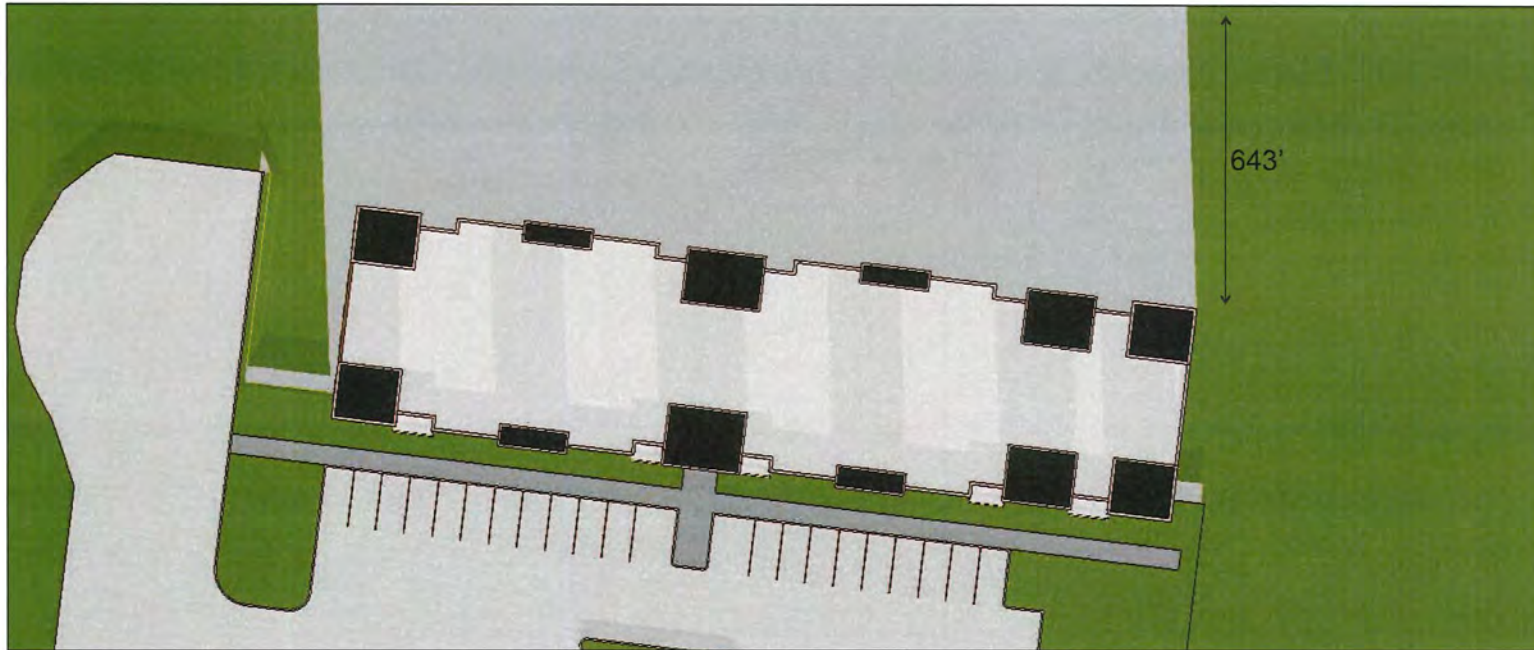
JOB NO. 21-0400

City of Yellowknife

Development Permit # PL-2022-0075

Approved June 17, 2022 (Page 10 of 22)

Development Officer CHARLSEY WHITE



**BUILDING SHADOW - DECEMBER 21, 12 NOON**

**NOTE:**

The architect shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and working conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints issued are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

Empty box for consultant signature.

SEAL:

Empty box for seal.

ISSUE:

Empty box for issue.

#2C2, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM  
RUTLEDGE  
ARCHITECT**

PROJECT

**THE VIEW APARTMENTS  
PHASE 5 - NIVEN LAKE  
LOT A, BLOCK 307, PLAN 4441  
YELLOWKNIFE N.W.T.**

TEL: 1-780-454-3422 FAX: 1-780-482-2921

**ISSUED FOR REVIEW MAY 30, 2022**

DWG:

**A1-009**

JOB NO. 21-0400

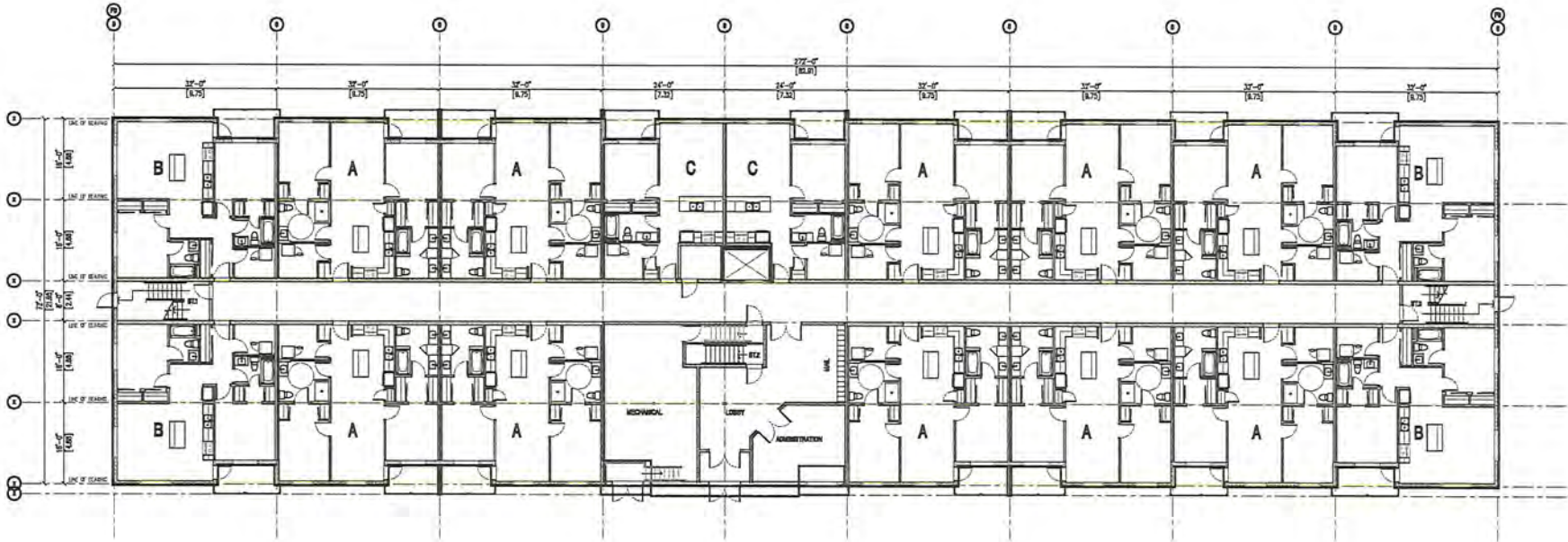


City of Yellowknife

Development Permit # PL-2022-0075

Approved June 17, 2022 (Page 11 of 22)

Development Officer CHARLSEY WHITE



**MAIN FLOOR PLAN (19,113 SQ.FT.)**  
 (1,775m<sup>2</sup>) 3/84"=1'-0"

**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of construction items on the drawing and verify against the specifications and as-built conditions when construction commences. The contractor shall report any discrepancies to the designer before proceeding with any portion of the work to be completed. For each discrepancy, all drawings and details shall be returned to him or her and shall be returned to him or her at completion of the work.

CONSULTANT:



ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM  
 RUTLEDGE  
 ARCHITECT**

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

PROJECT:  
**THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.**

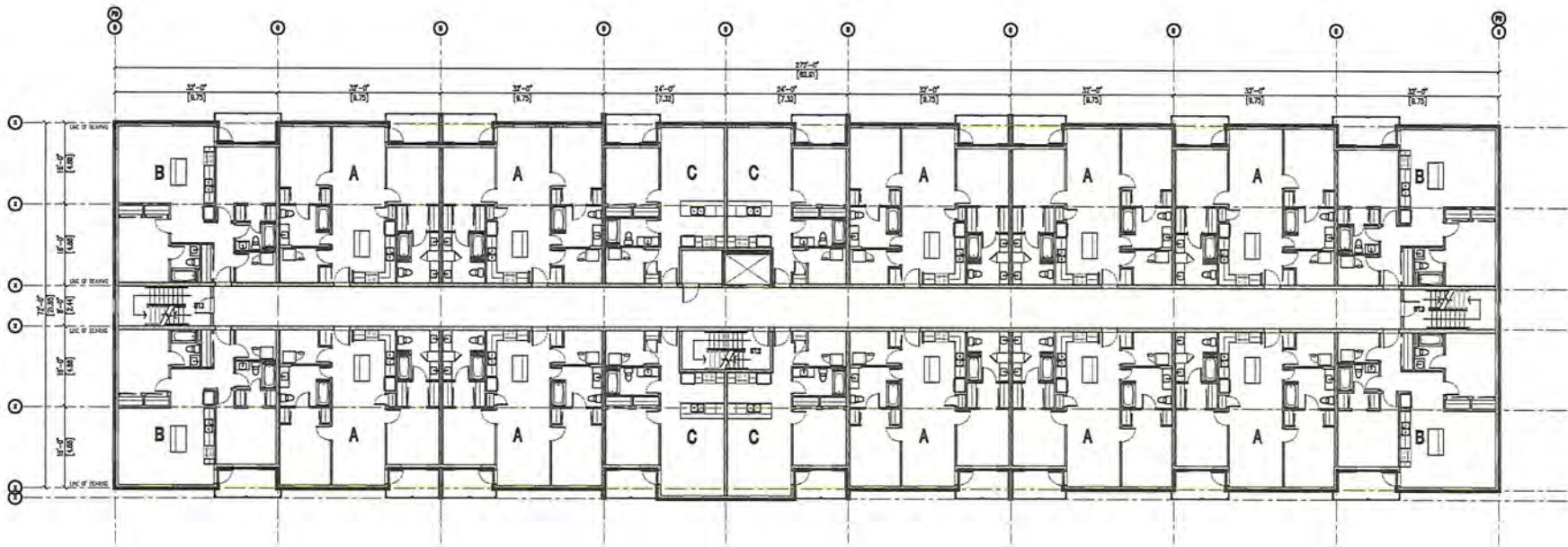
TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG.:

**A1-102**

JOB NO: 21-0400

City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 12 of 22)  
 Development Officer CHARLSEY WHITE



SECOND FLOOR PLAN (19,088 SQ.FT)  
 (1,773m<sup>2</sup>) 3/64"=1'-0"

**NOTE:**  
 The architect shall check and verify all dimensions, floor levels, and wall thicknesses. The contractor shall verify all dimensions, floor levels, and wall thicknesses before construction. The architect shall be responsible for the design before construction. All drawings and prints shall be the property of the architect and shall not be returned to him or her without the consent of the architect.

CONSULTANT:



ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM  
 RUTLEDGE  
 ARCHITECT**

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

PROJECT: THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.

DWG: A1-103

TEL: 1-780-454-3422 FAX: 1-780-482-2921

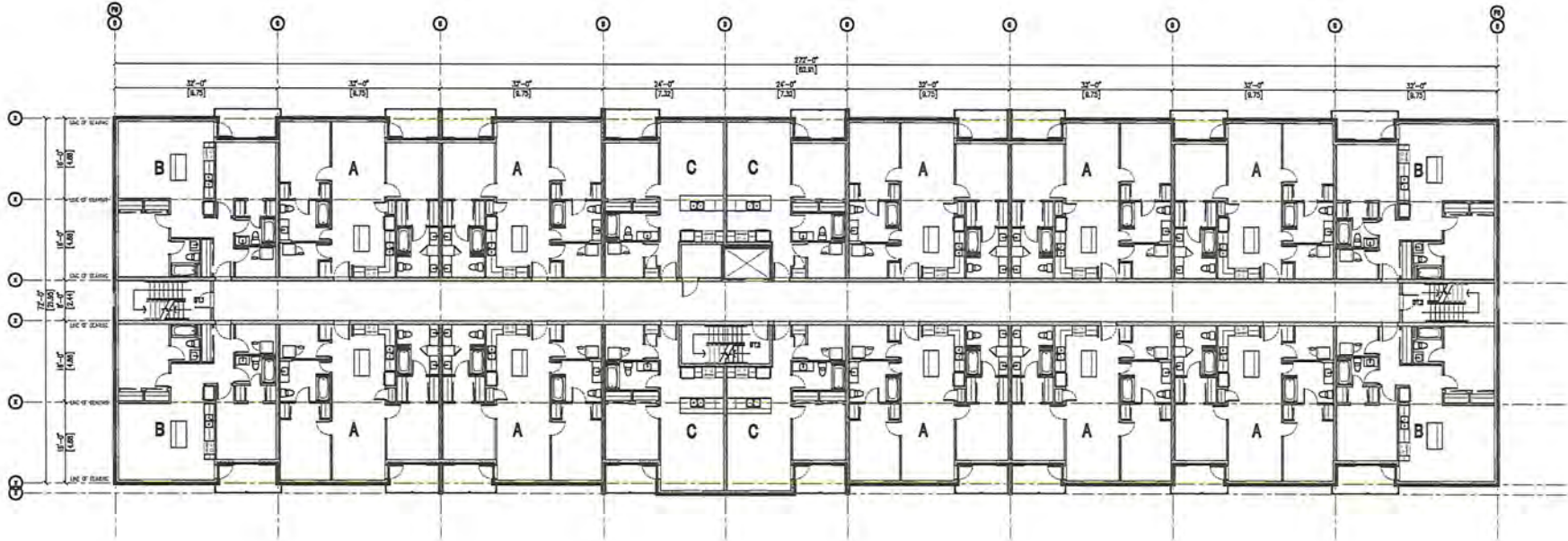
JOB NO: 21-0400

City of Yellowknife

Development Permit # PL-2022-0075

Approved June 17, 2022 (Page 13 of 22)

Development Officer CHARLSEY WHITE



THIRD FLOOR PLAN (19,088 SQ.FT)  
(1,773m<sup>2</sup>) 3/84"=1'-0"

NOTE:

The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, specifications and written conditions when construction begins. He shall report items to the designer before proceeding with the work. All drawings and plans shown are the property of the designer and shall be returned to him at completion of the work.

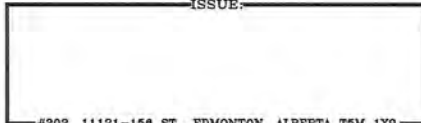
CONSULTANT:



SEAL:



ISSUE:



#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM  
RUTLEDGE**  
ARCHITECT

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

PROJECT:

THE VIEW APARTMENTS  
PHASE 5 - NIVEN LAKE  
LOT A, BLOCK 307, PLAN 4441  
YELLOWKNIFE N.W.T.

DWG.:

A1-104

JOB NO: 21-0400

TEL: 1-780-454-3422 FAX: 1-780-482-2921



City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 15 of 22)  
 Development Officer CHARLSEY WHITE

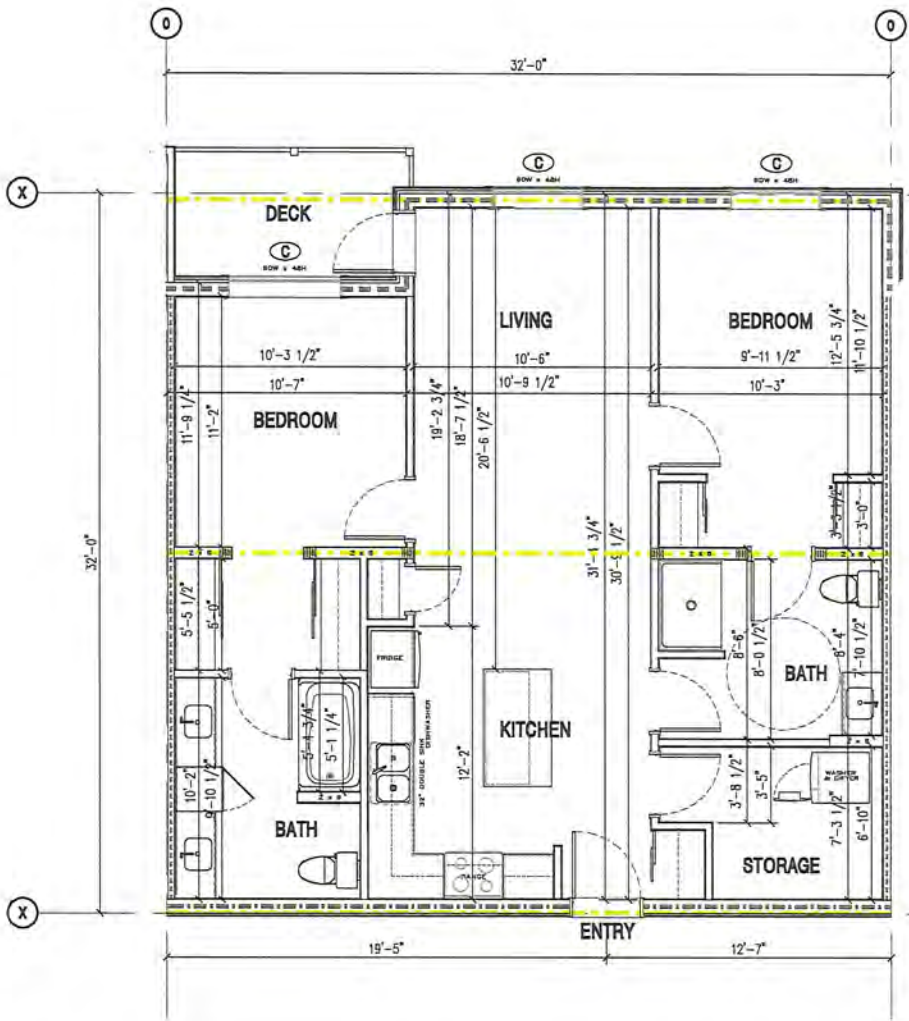
**WALL LEGEND**

- EXTERIOR**
- W1 TYPICAL EXTERIOR WALL - (9" X 4.4")  
 EXTERIOR FINISH: CANEXEL PREFINISHED EXTERIOR SIDING  
 1" x 4" HORIZONTAL STRAPPING (BANDSCREEN)  
 TYVEK OR EQUIVALENT AIR BARRIER  
 7/16" OSB SHEATHING  
 2" x 2" HORIZONTAL STRAPPING @ 24" O.C.  
 2x6 SPF #2 WOOD FRAMING @ 24" O.C.  
 171.2mm 2LB MEDIUM DENSITY SPRAY FOAM  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- PER YELLOWKNIFE BUILDING BYLAW  
 MINIMUM RSI = 5.26 (R=30.00)
- SUITE**
- W2 SUITE DEMISING WALL  
 5/8" TYPE X GYPSUM BOARD, FINISHED  
 3/2" RESILIENT CHANNEL  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 1" AIR SPACE WITH 1/2" GONNA CONNA BOARD  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 3/2" RESILIENT CHANNEL  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- CORRIDOR**
- W3 CORRIDOR / EXIT WALL  
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED  
 5/2" RESILIENT CHANNEL  
 2x6 COMMON PLATE TOP AND BOTTOM  
 C/M 2x4 SPF #2 WOOD FRAMED WALL @ 12" O.C. STAGGERED  
 1" SOUND BATT INSULATOR  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- SUITE**
- W4 INTERIOR 2x6 PLUMBING / SUPPORT WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x4 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
- SUITE**
- W5 TYPICAL INTERIOR 2x4 WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x4 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
- TOILE INDICATES BALUHEAD ABOVE

**DIMENSION NOTE**

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ILLUSTRATED ON THIS SHEET READ TO EITHER GRIDLINES OR FACE OF FRAMING ONLY.

**UNIT A PLAN (943 SQ.FT.)** 40 UNITS  
 1,007 SQUARE FEET WITH BALCONY 3/16"=1'-0"



**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and materials shall be as indicated unless otherwise noted. All materials shall be in accordance with the drawings and specifications. All drawings and notes shall be the property of the architect and shall not be returned to him at completion of the work.

**CONSULTANT:**



**ISSUE:**

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



**ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022**

PROJECT: THE VIEW APARTMENTS PHASE 5 - NIVEN LAKE LOT A, BLOCK 307, PLAN 4441 YELLOWKNIFE N.W.T.

TEL: 1-780-454-3422 FAX: 1-780-482-2921

**DWG.:**

A1-114

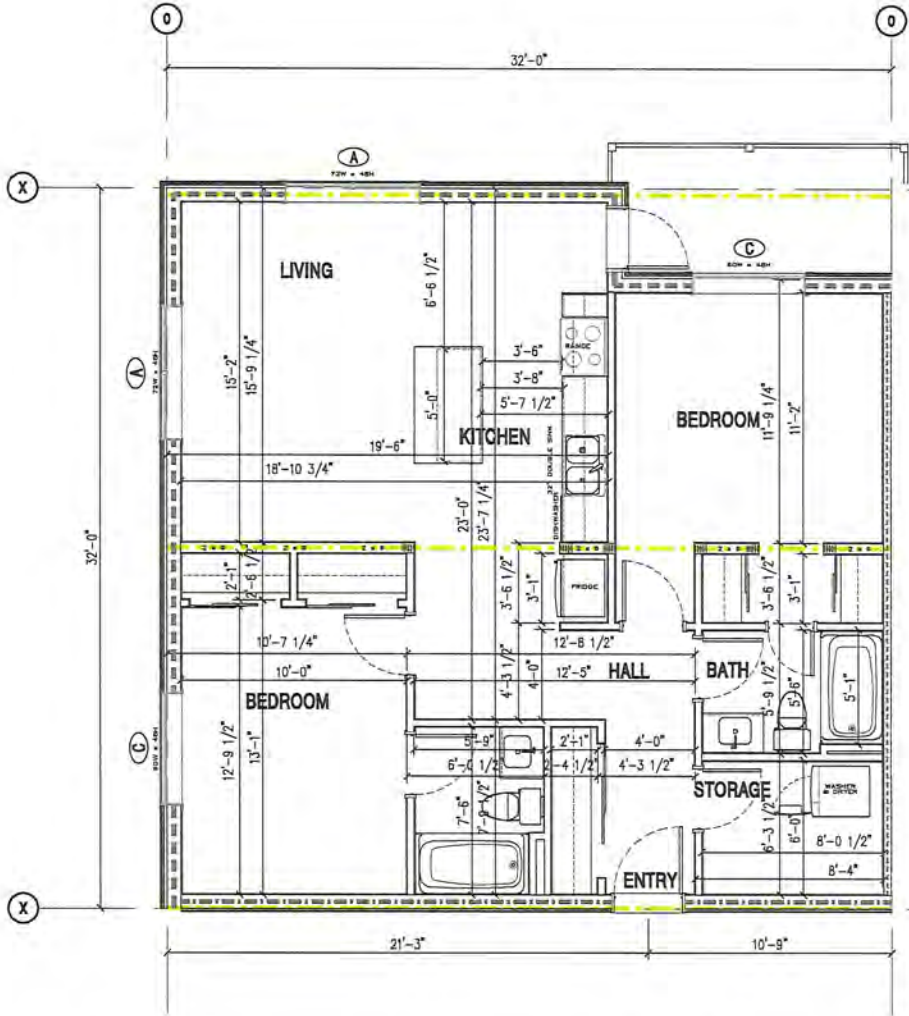
JOB NO: 21-0400

**WALL LEGEND**

- EXTERIOR**  
 W1 TYPICAL EXTERIOR WALL - (R# 30.43)  
 EXTERIOR FINISH CANDEL PREFINISHED EXTERIOR SIDING  
 1" X 4" HORIZONTAL STRAPPING (BANDSHEED)  
 TYPK OR EQUIVALENT AIR BARRIER  
 7/16" OSB SHEATHING  
 2" X 2" HORIZONTAL STRAPPING @ 24" O.C.  
 2x6 SPF #2 WOOD FRAMING @ 24" O.C.  
 171.2mm 2LB MEDIUM DENSITY SPRAY FOAM  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- SUITE**  
 W2 SUITE DEMISING WALL  
 5/8" TYPE X GYPSUM BOARD, FINISHED  
 5/8" RESIDENT CHANNEL  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 1" AIR SPACE WITH 1/2" DONNA CORNA BOARD  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 5/8" RESIDENT CHANNEL  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- CORRIDOR**  
 W3 CORRIDOR / EOT WALL  
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED  
 5/8" RESIDENT CHANNEL  
 2x6 COMMON PLATE TOP AND BOTTOM  
 C/M 2x4 SPF #2 WOOD FRAMED WALL @ 12" O.C. STAGGERED  
 5" SOUND BATT INSULATION  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- SUITE**  
 W4 INTERIOR 2x6 PLUMBING / SUPPORT WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x6 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
- SUITE**  
 W5 TYPICAL INTERIOR 2x4 WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x4 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
- TONE INDICATES BALCONY ABOVE

**DIMENSION NOTE**  
 UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ILLUSTRATED ON THIS SHEET READ TO EITHER GRIDLINES OR FACE OF FRAMING ONLY.

**UNIT B PLAN (918 SQ.FT.)** 16 UNITS  
 993 SQUARE FEET WITH BALCONY 3/16"=1'-0"



**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and materials shall conform to the latest editions of the applicable codes and standards. All dimensions shall be taken from the face of framing unless otherwise specified. All drawings and notes shall be prepared by the architect and shall be checked by him at completion of the work.

**CONSULTANT:**



**ISSUE:**  
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9


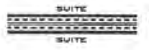

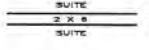
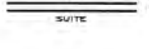


**ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022**  
 PROJECT: THE VIEW APARTMENTS PHASE 5 - NIVEN LAKE LOT A, BLOCK 307, PLAN 4441 YELLOWKNIFE N.W.T.  
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

**DWG.:**  
 A1-115  
 JOB NO: 21-0400

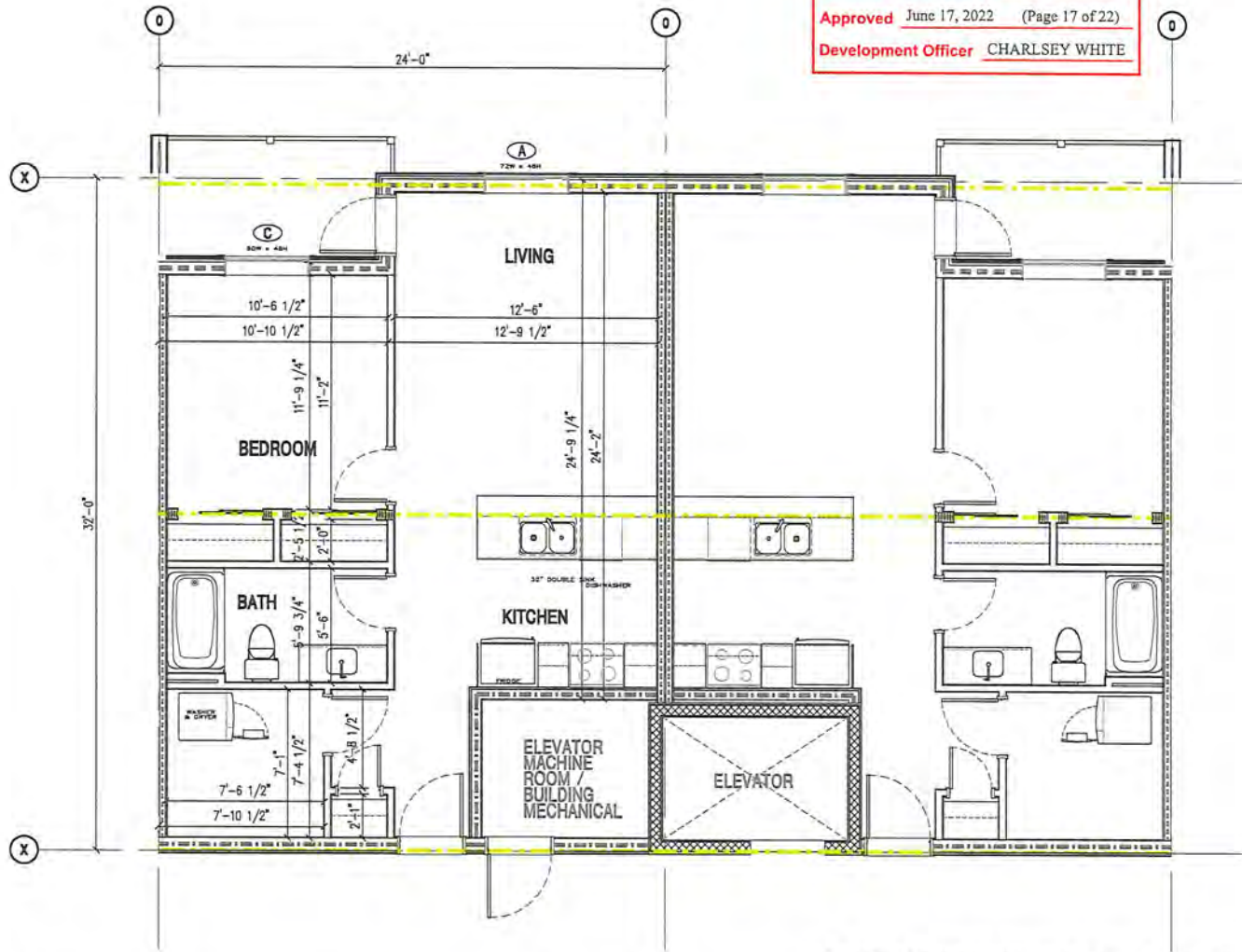
City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 17 of 22)  
 Development Officer CHARLSEY WHITE

**WALL LEGEND**

- EXTERIOR**  
 **W1** TYPICAL EXTERIOR WALL - (R<sup>15</sup> U<sup>1.43</sup>)  
 EXTERIOR FINISH CANDEL PREFINISHED EXTERIOR SOING  
 1 1/4" VERTICAL STRAPPING (FRANGIBLE)  
 TMX OR EQUIVALENT AIR BARRIER  
 7/16" OSB SHEATHING  
 2x2" HORIZONTAL STRAPPING @ 24" OC  
 2x8 SPF #2 WOOD FRAMING @ 24" OC  
 17L2mm ZLS MEDIUM DENSITY SPRAY FOAM  
 5/8" TYPE X GYPSUM BOARD, FINISHED
  - SUITE**  
 **W2** SUITE DEMISING WALL  
 5/8" TYPE X GYPSUM BOARD, FINISHED  
 5/8" RESILENT CHANNEL  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 1" AIR SPACE WITH 1/2" DONNA CONNA BOARD  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 5/8" RESILENT CHANNEL  
 5/8" TYPE X GYPSUM BOARD, FINISHED
  - CORRIDOR**  
 **W3** CORRIDOR / EXIT WALL  
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED  
 5/8" RESILENT CHANNEL  
 2x8 COMMON PLATE TOP AND BOTTOM  
 C/W 2x4 SPF#2 WOOD FRAMED WALL @ 12" O.C. STAGGERED  
 5" SOUND BATT INSULATION  
 5/8" TYPE X GYPSUM BOARD, FINISHED
  - SUITE**  
 **W4** INTERIOR 2x6 PLUMBING / SUPPORT WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x6 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
  - SUITE**  
 **W5** TYPICAL INTERIOR 2x4 WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x4 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
- TONE INDICATES BULKHEAD ABOVE

**DIMENSION NOTE**  
 UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ILLUSTRATED ON THIS SHEET READ TO EITHER GRIDLINES OR FACE OF FRAMING ONLY.

**UNIT C PLAN REAR (587 SQ.FT)** B UNITS  
 646 SQUARE FEET WITH BALCONY 3/16"=1'-0"



**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of materials before construction and shall report any discrepancies immediately to the architect. All dimensions shall be taken to the center of the wall unless otherwise specified. All drawings and prints shall be returned to the architect and shall be retained in file in accordance with the contract.

CONSULTANT:  
 \_\_\_\_\_

SEAL:  


ISSUE:  
 \_\_\_\_\_  
 #202, 11121-150 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM RUTLEDGE ARCHITECT**

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022  
 PROJECT:  
**THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.**  
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:  
**A1-116**  
 JOB NO: 21-0400

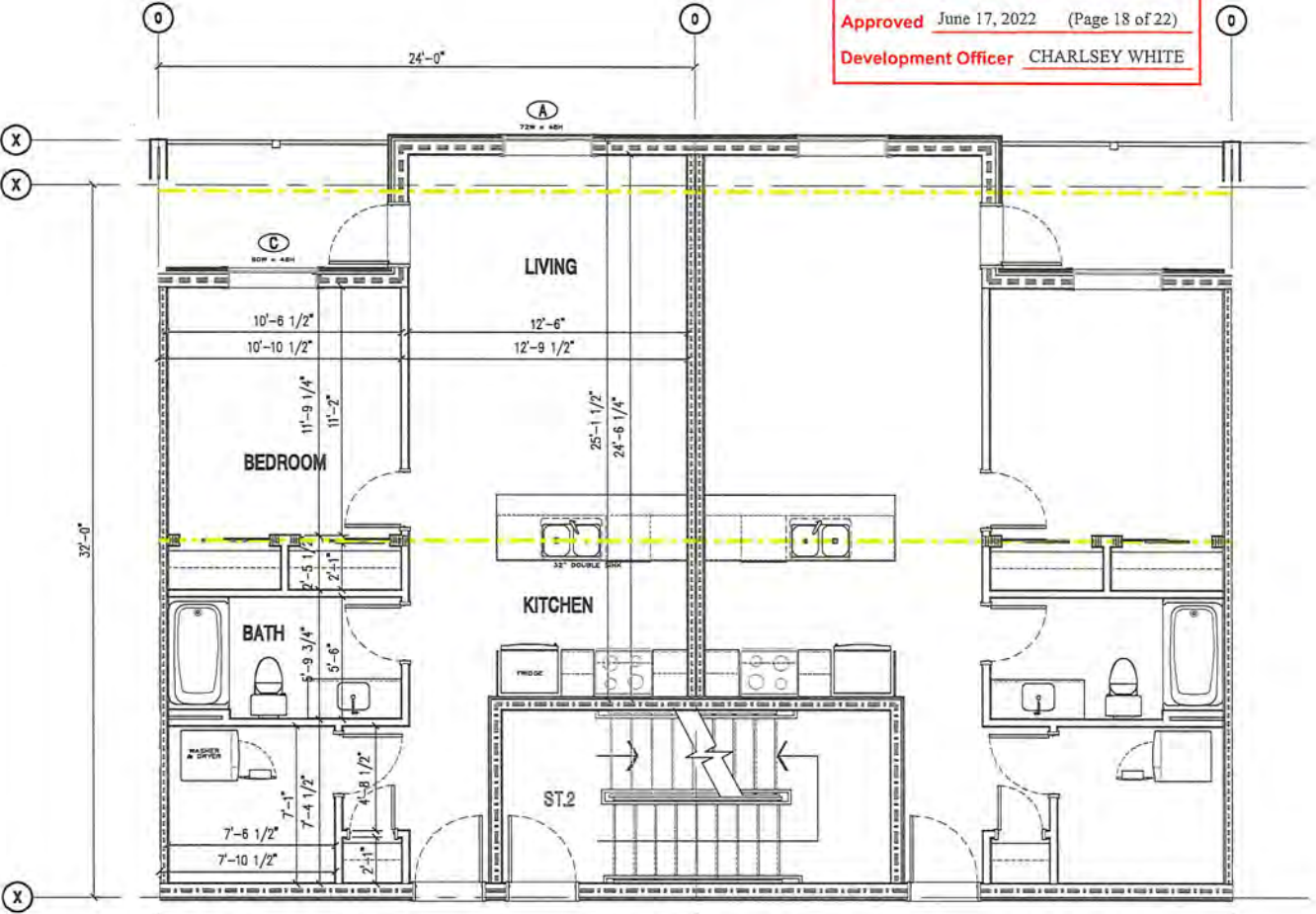
**City of Yellowknife**  
**Development Permit #** PL-2022-0075  
**Approved** June 17, 2022 (Page 18 of 22)  
**Development Officer** CHARLSEY WHITE

**WALL LEGEND**

- EXTERIOR**  
**W1** TYPICAL EXTERIOR WALL - (R<sup>2</sup> 30.43)  
 EXTERIOR FINISH: CANDEL PREFINISHED EXTERIOR SIDING  
 1 1/4" METAL STRAPPING (RANSORED)  
 TYVEK OR EQUIVALENT AIR BARRIER  
 7/16" OSB SHEATHING  
 2"X2" HORIZONTAL STRAPPING @ 24" O.C.  
 2x6 SPF #2 WOOD FRAMING @ 24" O.C.  
 171.2mm XLS MEDIUM DENSITY SPRAY FOAM  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- SUITE**  
**W2** SUITE DEMISING WALL  
 5/8" TYPE X GYPSUM BOARD, FINISHED  
 5/8" RESILIENT CHANNEL  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 1" AIR SPACE WITH 1/2" DONNA DONNA BOARD  
 2x4 WOOD FRAMED WALL @ 24" O.C.  
 5/8" RESILIENT CHANNEL  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- CORRIDOR**  
**W3** CORRIDOR / EXIT WALL  
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED  
 5/8" RESILIENT CHANNEL  
 2x6 COMMON PLATE TOP AND BOTTOM  
 C/W 2x4 SPF #2 WOOD FRAMED WALL @ 12" O.C. STAGGERED  
 5" SOUND BATT INSULATION  
 5/8" TYPE X GYPSUM BOARD, FINISHED
- SUITE**  
**W4** INTERIOR 2x6 PLUMBING / SUPPORT WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x6 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
- SUITE**  
**W5** TYPICAL INTERIOR 2x4 WALL  
 5/8" GYPSUM BOARD, FINISHED  
 2x4 WOOD FRAMED WALL @ 16" O.C.  
 5/8" GYPSUM BOARD, FINISHED
- TOILE INDICATES BALCONY ABOVE

**DIMENSION NOTE**

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ILLUSTRATED ON THIS SHEET READ TO EITHER GRIDLINES OR FACE OF FRAMING ONLY.



**UNIT C PLAN FRONT (597 SQ.FT.)** 6 UNITS  
 655 SQUARE FEET WITH BALCONY 3/16"=1'-0"

**NOTE:**  
 The contractor shall identify and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and materials shall conform to the design intent, as indicated with any portion of the notes on the drawings. All dimensions, all drawings and notes shall be reviewed in full at completion of the work.

**CONSULTANT:**



**ISSUE:**  
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

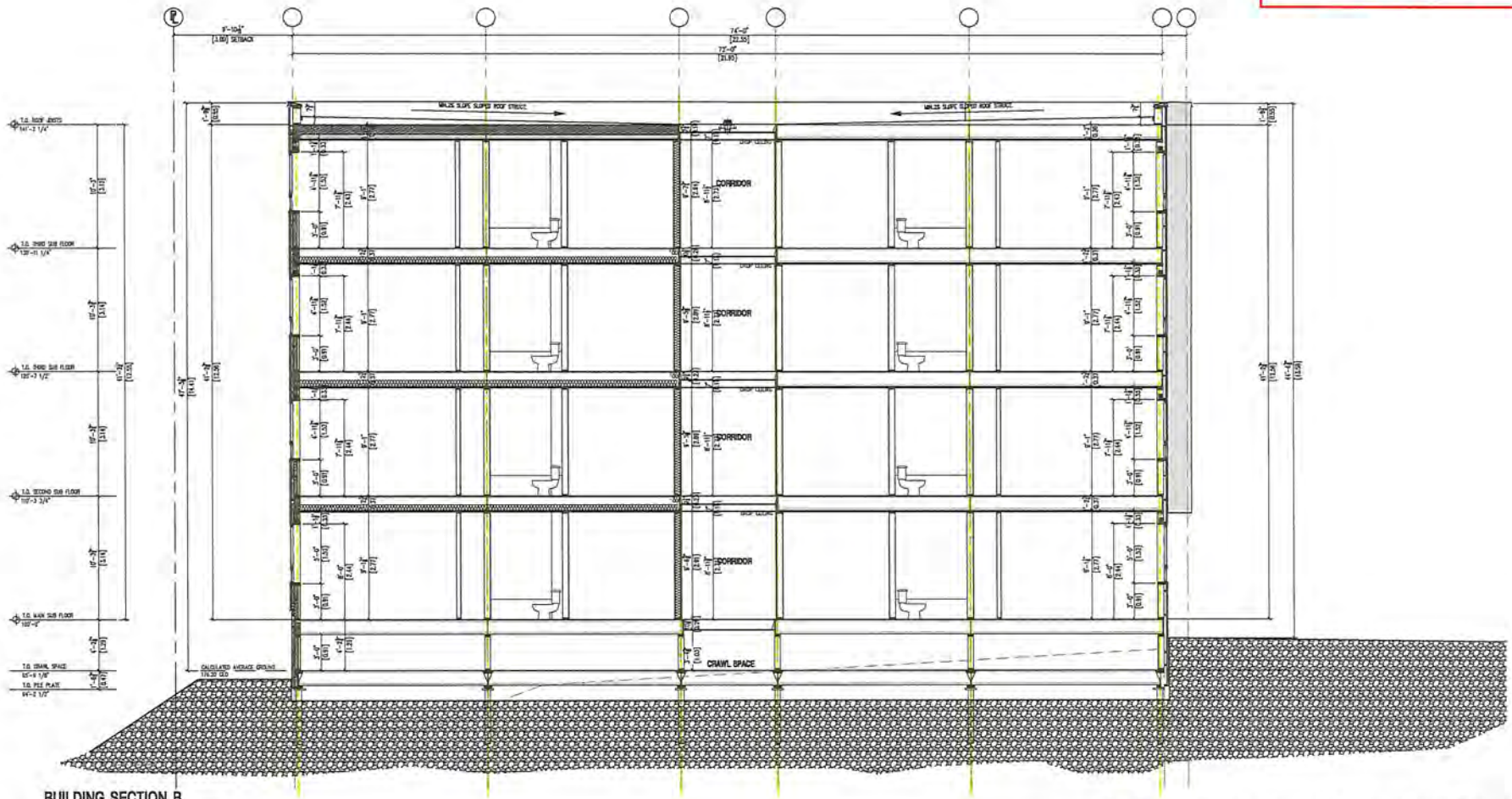


**ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022**  
**PROJECT:**  
 THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.  
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

**DWG:**  
**A1-117**  
 JOB NO: 21-0400



City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 19 of 22)  
 Development Officer CHARLSEY WHITE



**BUILDING SECTION B**  
 1/4"=1'-0"

REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022  
 PROJECT: DWG:

**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, specifications, and contract conditions. Where discrepancies occur, he shall report same to the designer before proceeding with the work. All drawings and notes shall be the property of the designer and shall be returned to him at completion of the work.

CONSULTANT:

SEAL:  

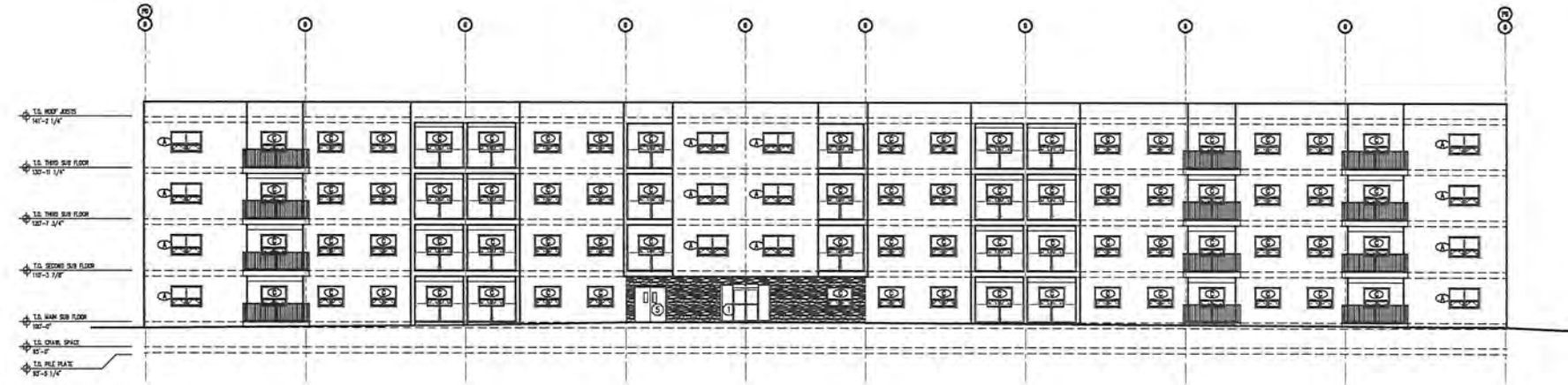

ISSUE:  
 #202, 1121-166 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM  
 RUTLEDGE  
 ARCHITECT**

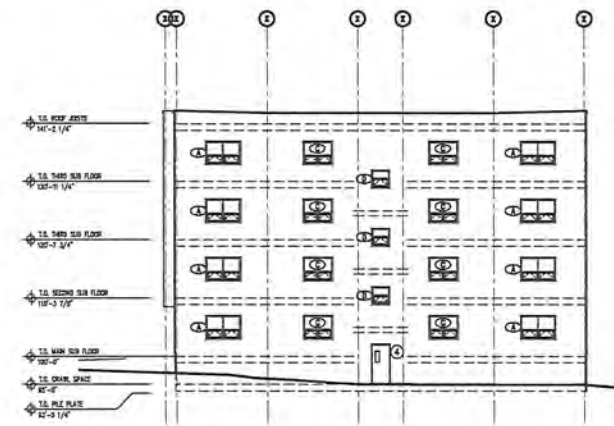
THE VIEW APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.  
 TEL: 1-780-454-3422 FAX: 1-780-452-2921

A1-131  
 JOB NO: 21-0400





**EAST ELEVATION**  
3/84=1'-0"



**NORTH ELEVATION**  
3/84=1'-0"

City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 21 of 22)  
 Development Officer CHARLSEY WHITE

**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, specifications, and permits. No work shall be undertaken until all required permits are obtained. All drawings and specifications are the property of the architect and shall be returned to him at completion of the work.

CONSULTANT:

SEAL:

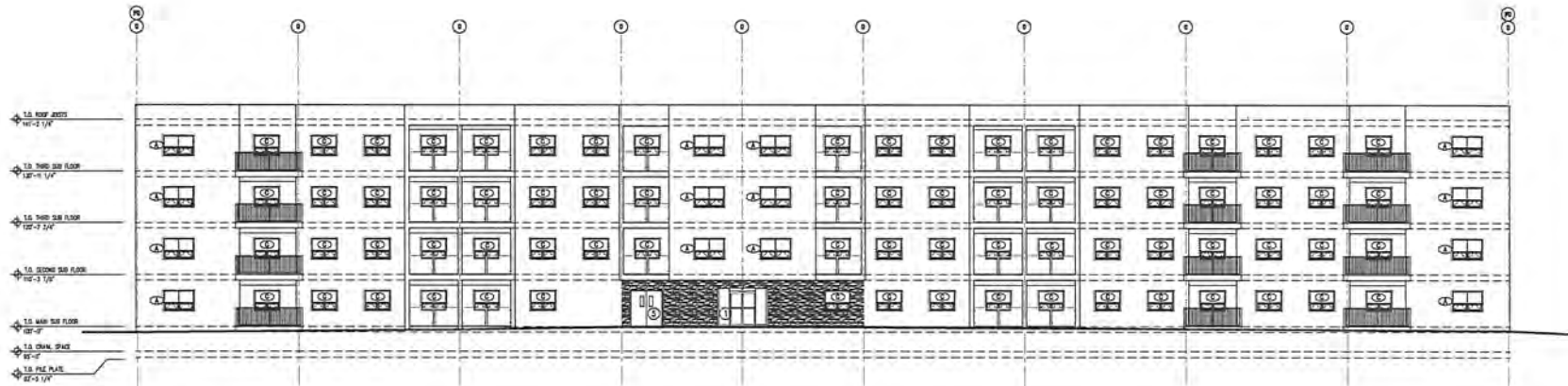
ISSUE:

#202, 11121-150 ST., EDMONTON, ALBERTA T5M 1X0



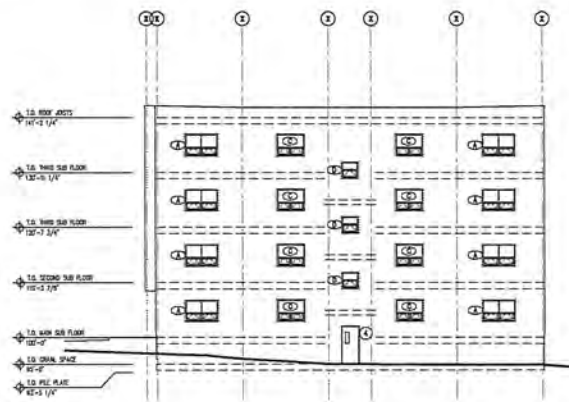
REVISED FOR DEVELOPMENT PERMIT MAY 30, 2022  
 PROJECT:  
 NIVEN LAKE APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.  
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:  
**A1-120**  
 JOB NO: 21-0400



**SOUTH ELEVATION**

3/32"=1'-0"



**EAST ELEVATION**

3/32"=1'-0"

City of Yellowknife  
 Development Permit # PL-2022-0075  
 Approved June 17, 2022 (Page 22 of 22)  
 Development Officer CHARLSEY WHITE

**NOTE:**  
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, specifications, and program requirements before commencement of work. All dimensions shall be taken in accordance with the approved drawings and shall be returned to him at completion of the work.

**CONSULTANT:**

**SEAL:**

**ISSUE:**  
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM RUTLEDGE ARCHITECT**

**REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022**  
 PROJECT:  
 NIVEN LAKE APARTMENTS  
 PHASE 5 - NIVEN LAKE  
 LOT A, BLOCK 307, PLAN 4441  
 YELLOWKNIFE N.W.T.  
 TEL: 1-780-454-3422 FAX: 1-780-492-2921

DWG:  
**A1-121**  
 JOB NO: 21-0400

# PUBLIC NOTICE

## CITY OF YELLOWKNIFE – ZONING BY-LAW NO. 4404

### NOTICE OF DECISION

Development Permit Application No. PL-2022-0075, dated the 21 day of April, 2022, for a development taking place at the following location: on Hagel Dr. Niven Phase 5

Lot 11 and 12 (Portions) Block 307 Plan # 4441

Intended Development: Multi-Unit Dwelling (70 Units)

Has been APPROVED subject to following conditions:

1. The Development shall comply with all stamped approved plans and with the executed Development Agreement;
2. Landscaping and hardscaping shall be completed by September 30th, 2024 and maintained for the life of the development, as indicated in the stamped approved plans and Development Agreement;
3. Plants used for landscaping shall be of capable healthy growth in Yellowknife, grown from northern stock, with certification that the plants are grown north of 54 degrees latitude;
4. A Surveyor's Real Property Report shall be submitted to the City prior to occupancy. The Real Property Report must indicate i) all permanent features on site and ii) finished grades at all corners of the lot and buildings and periodic grades every 20m;
5. The property owner is responsible for freeze protection of water lines during construction;
6. Outdoor lighting on the proposed development shall be sufficient only to provide for safety, security, display or attraction. Lighting for any development shall be arranged so that no direct rays of light are projected to adjacent properties or interfere with the effectiveness of any traffic control device;
7. The Developer shall delineate all parking spaces on the property and install on-site signs;
8. The Developer shall delineate and identify with visual indicators a minimum of 3 accessible parking spaces on the property and 1 loading and unloading zone;
9. The Developer shall install waste, compost and recycling bins with screening; and
10. A Water Connection Permit will be required for the water and sewer services to each building. Permit application must include Plan and Profile drawings for the servicing that are signed and stamped by an Engineer registered with NAPEG. For information on the permit contact [construction@yellowknife.ca](mailto:construction@yellowknife.ca).

DATE of Issue of this Notice of Decision: June 17, 2022

EFFECTIVE DATE: July 2, 2022

*Copy*  
Development Officer

#### NOTICE:

Any persons claiming to be adversely affected by the development may, in accordance with the *Community Planning and Development Act*, appeal to the Development Appeal Board, c/o City Clerk's Office, tel. 920-5646, City of Yellowknife, P.O. Box 580, Yellow knife, NT X1A 2N4. Please note that your notice of appeal must be in writing, comply with the *Community Planning and Development Act*, include your contact information and include the payment of the \$25 appeal fee (the appeal fee will be reimbursed if the decision of the Development Officer is reversed). The appeal must be received on or before 4:30 p.m. on the \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE OWNER OF THE SUBJECT PROPERTY IS AUTHORIZED TO REMOVE THIS NOTICE. ALL OTHER PERSONS FOUND REMOVING THIS NOTICE WILL BE PROSECUTED.