

DEVELOPMENT APPEAL PL-2022-0075**DEVELOPMENT OFFICER'S REPORT****JULY 14, 2022****ISSUE**

An appeal against the decision of the Development Officer to issue Development Permit PL-2022-0075. A Multi-Unit Residential dwelling for 70 Units.

BACKGROUND OF NIVEN DEVELOPMENT

The Niven Lake Development has undergone several subdivision revisions, primarily due to rezoning and expansion, since 1995.

In 1995 the first Niven Lake Development Scheme, By-law No. 3794 was adopted. Followed by four major Development Schemes or Area Development Plans from 2002 to 2007.

- Niven Lake Development Scheme 2002 By-law No. 4181 was adopted in 2002;
- Niven Lake Development Scheme 2003 By-law No. 4269 was adopted in 2003;
- Niven Lake Development Scheme 2004 By-law No. 4339 was adopted in 2004 and Phases 5 and 6 were proposed;
- Niven Lake Development Scheme 2007 By-law No. 4438 was adopted in 2007. Phase 7 was proposed; and
- Niven Lake Phase 8 has been undeveloped. In 2013, a servicing feasibility study was conducted for the Niven Lake Phase 8 Subdivision. One of the findings of the study is that development of this area would be challenging due to significant grade changes and road portion extending beyond and onto Akaitcho Interim Land Withdrawal. Based on the 2020 Community Plan subdivision and land development sequencing Niven Phase 8 was not on the priority list to be developed.



applicable, to prohibit the use or development of land or buildings in particular areas of a municipality.

The City of Yellowknife Zoning By-law No. 5045, received Third and Final Reading by City Council on the 14th day of March, 2022.

Section 36 of the Act identifies the authority for **Subdivision** of land where municipal subdivision authority has not been delegated:

36. The Director of Planning is the subdivision authority for approving applications respecting subdivisions for areas that are not under the jurisdiction of a municipal subdivision authority.

City staff have been developing options to re-subdivide Phase 5 since 2019. The purpose of a re-design being to address site constraints (terrain, topography), existing infrastructure (the City's Lift Station and underground services), and Hagel Drive connectivity and emergency vehicle access. In November 2021, the City created a finalized subdivision concept for lands on the east side of Hagel Drive. In January 2022, the City contracted Stantec to provide engineering design services for general grading and drainage plan, Hagel Drive turnaround, confirm lot layout, fire access lane, and other site constraints. The City continues to consider options for lands on the west side of Hagel Drive with the same objective. Re-parceling, alteration to lot lines or lot subdivision does not require Council endorsement.

On April 28, 2022, GNWT-Lands approved the re-subdivision of the vacant lots, east of Hagel Drive, in Niven Phase 5. Under Section 36 of the Act, the Ministry of Municipal and Community Affairs Director of Planning is the subdivision authority for approving applications respecting subdivisions for areas not under the jurisdiction of a municipal subdivision authority. The City has no jurisdiction over subdivision approval.

City of Yellowknife, 2020 Community Plan, By-law 5007.

The Community Plan is a comprehensive outline of the goals and objectives for the City with directive policies to accomplish the objectives. Policies of the Community Plan are to be read together and all applicable policies are to be considered and applied at the time of development.

2.3.1 – Historical populations and population projections

Statistics indicate that the City of Yellowknife sustained continued growth from 2001 to 2016 (an increase in population of 17.7%). The Community Plan projected a modest annual growth rate for the City of 0.5% to 0.7%. The recent 2021 Census indicates that growth trend has



continued since the statistics in the Community Plan were published. A population increase of an additional 3.9% occurred equaling a total population change of 4090 people (est.).¹

2.3.2 – Housing

Housing starts in the City of Yellowknife had been stagnant or declining over the 2001 to 2016 historic planning period included in the Community Plan. The beginning of 2022 has seen this trend reversing within the City and new or proposed residential construction is slowly increasing. At present, with a near zero vacancy rate and limited dwellings for private sale, the needs of residents are not being met by the current housing supply. The new development of residential development is required to provide adequate, suitable, municipally serviced and where available affordable housing options.

To provide an appropriate range and mix of housing to meet the current and projected needs of the City residents, the Community Plan outlines requirements for increased density and the establishment of opportunities for infilling. The development of new housing is to be directed to locations which are designated, have appropriate levels of municipal servicing and access to multiple transportation options (walking, cycling, transit). Increased residential density and infill opportunities minimize the cost of housing, facilitate compact form and maintain public health and safety.

2.3.4 – Land Details

Land availability is a complex issue within the City of Yellowknife municipal boundaries, where very limited land is available for development or re-development. While the City is exercising an option to receive a bulk land transfer from the Government of the Northwest Territories, this process has been lengthy and has not to date resulted in large land transfers which could be used for development. Until that future time, the City must look to developing lands currently available. At present, land available (designated, zoned, serviced) for development or re-development is estimated by the Lands Division, to be 1% (this number excludes waterbodies, roads, parks, Commissioner's lands, federal lands and land within the Akaitcho Dene First Nations Land Claim).

¹ <https://www12.statcan.gc.ca/census-recensement/2021/dp-pd/prof/details/page.cfm?Lang=E&SearchText=yellowknife&DGUIDlist=2021A00056106023&GENDERlist=1,2,3&STATISTIClist=1&HEADERlist=0>



2.3.5 – Land Demand

The Community Plan identifies that while demand for residential land within the City varies through time, it is estimated that demand will exceed supply by 2025. Beyond 2025, the situation is forecast to continue unless infill opportunities are realized, development density is increased and new lands are made available. Increased infill and higher density development reduces the residential land demand into the future, supports existing municipal infrastructure and provides opportunities for suitable and affordable housing to be built.

Within the developed areas of the City land use patterns are to be based on densities and a mix of uses which efficiently use land and resources. Development is to be appropriate for and efficiently use the infrastructure and public services which are planned and available. The City through the Community Plan policies seeks to avoid the need for unjustified or uneconomical expansion of services. Infill and increased density minimize negative impacts to air quality, support climate change mitigation and promote energy efficiency. Lands developed within or adjacent to existing development should seek to benefit from existing parks, trails, multi-use paths and transit systems in place or planned.

3.1.1. – Vision

“The vision for the Community Plan is to manage land use in the City in an economically, environmentally and socially sustainable manner that is inclusive and equitable for residents while protecting the natural environment.” New development, by infilling or increased density, on lands which are designated, zoned and supported by municipal infrastructure support this vision.

3.2.1 – General Development Goals

The Community Plan includes an outline of goals to which development should be considered and evaluated. Specific to the proposed development, administration gave consideration to and considered conformity with:

- Develop land in a fiscally responsible and sustainable manner;
- Prioritize utilization of existing capacity of municipal infrastructure for land use development before adding new capacity;
- Improve resiliency of land development with respect to climate change through a range of mitigation and adaptation measures and standards;
- Improve energy efficiency of land development through intensification or existing developed areas and encouraging mixing of uses; and



- Increase housing affordability through increased land use flexibility for residential development.

3.2.2- Contemporary Land Use

Historically, new residential developments have been low density, automobile oriented and land intensive. The City of Yellowknife has invested significantly in multi-use trails, bike infrastructure and transit services. It is significant to note that historically 20% of the employed labour force in the city walked to work (4 times higher than the Canadian average). As demographic changes in the community occur, fewer people are vehicle owners and less households have multiple vehicles. This is a trend being seen across North America, where people born after 1981 drive a personal vehicle less and as people age they to drive less frequently and reduce the number of vehicles in their household. These statistics are evolving, provided by various sources, and are from prior to the current economic situation globally.²

4.5 – Niven Residential

Niven Residential Land Use area is located adjacent to the downtown core and provides easy access for residents by multi-modal transportation modes. The Community Plan directs that Niven will continue to be a mix of low, medium and high density residential uses; with some mixed uses allowed. The primarily residential area connects to the City's primary trail network with connections to Back Bay, Old Town, Downtown, the Capital area and others beyond these areas.

Administration considered the following Planning and Development Objectives, as applicable, in reviewing the proposed development to ensure conformity:

Objective	Policies	Proposed Development
1.To maintain and enhance the existing active transportation network within Niven.	1-a. Gaps in active transportation infrastructure will be identified and filled. 1-b. Active transportation trail improvements will be considered based on the <i>City</i>	Use of existing transportation network by additional residents. Increased use supports the highest and best use of

² <https://www.canadianfuels.ca/news-commentary/how-millennials-move/>
<https://ssti.us/2022/01/10/millennials-arent-driving-as-much-as-previous-generations/>
<https://uspirg.org/sites/pirg/files/reports/Millennials%20in%20Motion%20USPIRG.pdf>
<https://theconversation.com/millennials-drive-for-8-fewer-trips-than-older-generations-141347>



	<i>of Yellowknife Trail Enhancement and Connectivity Strategy.</i>	<p>municipal infrastructure currently in place.</p> <p>Trails are located directly adjacent to the development site.</p> <p>City Transit Services are located within all season walking distance.</p> <p>The existing multi-modal transportation options available minimize the length and number of personal vehicle trips.</p>
2. To improve public transportation service in Niven as the neighbourhood develops.	2-a. Public transit service will be reviewed based on recommendations in public transit studies.	<p>City Transit Services are available within 220 m of the proposed site for development.</p> <p>Efficient use of existing infrastructure supports the vision of the Community Plan.</p>
3. To improve active transportation connections between Niven and downtown.	3-a. Walking and cycling infrastructure connecting to downtown for all ages and abilities will be constructed.	<p>Existing City trails are located directly adjacent to the site.</p> <p>Additionally, residents can walk to downtown along the road network or a combination of the two systems.</p> <p>Cycling to downtown is a viable, cost effective and green transportation method available as well.</p>
4. To support a mix of residential types and densities.	4-a. A variety of residential single unit and multiple unit dwelling types will be permitted.	<p>This area of Niven is exclusively multi-unit residential dwellings.</p> <p>The existing dwellings are of low and medium density, consistent with the proposal.</p>



<p>5. To encourage affordable housing opportunities.</p>	<p>5-a. Incentives for affordable housing development will be implemented as recommended in <i>Yellowknife's 10 Year Plan to End Homelessness</i>.</p>	<p>No incentives are provided by the City for development in Niven. Increased density reduces development costs which create more affordable units compared to low density development.</p>
<p>To enhance public outdoor recreation amenities.</p>	<p>6-a. Amenities will be constructed as the area continues to be develop in line with current development standards.</p>	<p>The City has included a new park and garden area as part of the subdivision redesign. A park and garden will be located on Hagel Drive for the benefit of existing and future residents.</p>

5.1.1 – Climate Change

The Community Plan outlines that development is to have consideration toward Climate Change mitigation and adaptation. Accomplishing this will require focusing development within the existing built areas of the City and avoiding the expansion of municipal infrastructure and services. Policies support higher density development which is more energy efficient than sprawling development.

Within this policy section, again, is the inclusion of direction to have development connect with existing trails, roads and public transit services. Higher density development in and adjacent to these existing services lessens the need to use a personal motor vehicle and reduces the associated carbon emissions. Community Plan policies support and encourage compact urban development at higher densities.

5.2 – Environment

Many interconnected policies are found in this section of the Community Plan which relate to residential development. Administration considered the environmental impacts as a whole, and specifically considered if there would be negative impacts from the proposed development.

Climate Change impacts of a new medium density development meet the objectives of the related policies and the development will utilize existing infrastructure, services and increased



density will reduce energy requirements. The development is taking place on land which has remained vacant for years, where infrastructure has been in place, and not utilized. Development will not only efficiently use municipal services but will landscape the lot. Finalization of the development will improve the aesthetics of the area, create a connection to adjacent vegetated areas and manage the impacts of storm-water, reducing impacts to the surrounding environment. The location in Niven has potential to reduce air pollution by providing residents multi-modal transportation options due to its close proximity to downtown.

5.2- Transportation

Within the City transportation systems are important to ensure safe and efficient movement of people and goods through the community. The proposed development site includes parking available for residents on site; is directly adjacent to the City trail network; is in close proximity to the City Transit Services and is situated to afford cycling opportunities. While parking will be available, the numerous multi-modal transportation options are available to support residents and the City toward reducing vehicle kilometers travelled by 20%. The Community Plan notes in Yellowknife a higher proportion of residents walk or bike to work. Multi-modal transportation is also supported by school bus service for grade school children, available in the Niven area, in addition to transit availability for other educational institutions.

5.4 – Subdivision and Land Development Sequencing

Niven Phase 5 is identified in the Community Plan as a priority residential development and infill opportunity. The City currently has limited vacant lots available for residential development; remaining residential lots are located in Niven and Grace Lake South. Some lots are currently for sale and some lots are being prepared to sell. The City will prioritize the sale of these lots for residential development.

The development of this land, and land adjacent, will support increasing the housing stock within the City. Additional development opportunities exist on Hagel Drive, though development is not expected to be completed until 2023 and beyond.

6.4 – Reports and Studies

The Community Plan identifies that specific reports and studies may be required as part of a comprehensive planning submission to the City. At present the City is responsible for the development of the Niven Phase 5 area. No amendment to the Community Plan nor the Zoning by-law were required to permit the proposed development.



Zoning By-Law No. 5045

Niven Phase 5 is zoned R2 – Medium Density Residential. The purpose of the zone is to provide an area for medium to higher density residential development that encourages a mix of dwelling types and compatible uses.

Most of the R3 zone from the previous By-law has been rezoned to R2 or RC residential zones and including Niven Phase 5. In general, the land use and intent between the former R3 and new R2 remain the same. Similarly, and for comparison, some properties in the Range Lake area that were R3 and now zoned to R2: Beck Court Apt., Diamond Point Townhomes and Condos, Range Lake Condos, Gold City Condo, Northview Apartments, Birchwood Apartments, Inukshuk Housing, Townhomes and Condos on William Avenue, etc. Also, some areas in the periphery of downtown were zoned from R3 to RC, such as the Granite Condo and Avens Facility.

The Development Officer reviewed the application for development with consideration to the Zoning By-law.

Technical Review

Required Sign-Offs for all Development Permits:

Title	Technical Review Criteria	Date	Signature
Development Officer	All development permits requiring a review of site regulations	June 10, 2022	Vic Fontanilla
Peer Review (Planner)	All residential uses, discretions, and variances		
Manager, Planning & Lands	All residential uses, discretions, and variances		<i>Not applicable</i>
Director, Planning & Development	Multi-unit (> 4 units) dwellings, discretions, variances, and conditionally permitted uses		Signed in CityView
Director or Manager, Public Works	Grading, site servicing, traffic, vehicular access, and new driveways		Signed in CityView
Fire Dept. Deputy Chief	Emergency access, firefighting access		Signed in CityView



Development Permit Application Recommendation:

Decision	Further explanation including reasons and conditions to be met
Approve with conditions	<ol style="list-style-type: none"> 1. The Development shall comply with all stamped approved plans and with the executed Development Agreement; 2. Landscaping and hardscaping shall be completed by September 30th, 2024 and maintained for the life of the development, as indicated in the stamped approved plans and Development Agreement; 3. Plants used for landscaping shall be of capable healthy growth in Yellowknife, grown from northern stock, with certification that the plants are grown north of 54 degrees latitude; 4. A Surveyor's Real Property Report shall be submitted to the City prior to occupancy. The Real Property Report must indicate i) all permanent features on site and ii) finished grades at all corners of the lot and buildings and periodic grades every 20m; 5. The property owner is responsible for freeze protection of water lines during construction; 6. Outdoor lighting on the proposed development shall be sufficient only to provide for safety, security, display or attraction for any development shall be arranged so that no direct rays of light are projected to adjacent properties or interfere with the effectiveness of any traffic control device; 7. The Developer shall delineate all parking spaces on the property and install on-site signs; 8. The Developer shall delineate and identify with visual indicators a minimum of 3 accessible parking spaces on the property and 1 loading and unloading zone; 9. The Developer shall install waste, compost and recycling bins with screening; and 10. A Water Connect Permit will be required for the water and sewer services to each building. Permit application must include Plan and Profile drawings for the servicing that are signed and stamped by an Engineer registered with NAPEG. For information on the permit contact construction@yellowknife.ca.

Applicant Information:

Permit Number	PL-2022-0075
Application Date	April 21, 2022



Legal Description	Lot:	Portions of Lots 11 & 12	Block:	307	Plan:	4441
Zoning	R2 – Medium Density Residential. To provide an area for medium to higher Density residential Development					
Civic Address	No Address. It is on Hagel Drive near Cavo and Redcliff Condos					
Applicant Name	Milan Mrdjenovich					
Property Owner Name	507726 N.W.T. LTD					
Contact Telephone(s)	Home:		Work or Cell:	780-920 6315		
Email and/or Fax	milan@mrdjenovich.ca					

Development Permit Application Technical Review

(Regulated by Zoning By-law No. 5045)

1) Application Compliance:

Application Requirements	Submitted? (Please check ✓)		
	Yes	No	Waived or N/A
Site Planning			
All dimensions in metric	✓		
Location and dimensions of all existing structures or use	✓		
Location and dimensions of proposed structure or use	✓		
Setbacks (front, side, rear)	✓		
Lot lines	✓		
Street Names	✓		
Landscaping	✓		
Existing and proposed driveways	✓		
Drainage showing gradient	✓		
Location of outdoor fuel storage facilities	✓		
Location of any easements affecting the site	✓		
Form, mass, and character of development	✓		
Building façade and materials	✓		
Floor plan (except detached dwellings)	✓		
Elevation drawings and exterior dimensions	✓		
Grading (existing, proposed, spot elevations)	✓		



Confirmation of Services			
Services can be provided to proposed development	✓		
Proposed development does not infringe on easements	✓ there is a partial easement on the rear yard, but it does not impact the location of the building		
Satisfactory arrangement for supply of municipal services	✓		
Satisfactory arrangement for street access	✓		

2) Zoning Review

Using the requirements for the zone of the proposed development, describe the existing and proposed development. Include any additional information as required.

Existing Development	Vacant lot
Proposed Development	A Multi-Unit building consisting of 70 units.
Permitted/Conditionally Permitted/Not Permitted?	Permitted
Surrounding Neighbourhood	Mix of R2 (high density), R2 (medium density), and R1 (low density) development
Proposed addresses comply with the Municipal Address By-law? (check with the Geomatics Officer)	No address assigned yet. Yes, will not have an issue assigning.

3) Site Regulations:

Regulations	Required	Proposed	% variance from required
Lot width (<i>Section 10.2</i>)	15m	Ave. 60m	none
Lot depth (<i>Section 10.2</i>)	<i>Not regulated</i>		n/a
Maximum Site Area (<i>Section 10.2</i>)	9,000 sq.m. max.	5,870 sq.m. (and as per approved subdivision plan)	none
Site coverage of principle/accessory building (<i>Section 10.2</i>)	55%	31.3% (1,841.75/5,870)	none



Building height (<i>Section 10.2</i>)	15m	14.46m		none
		<i>at Bldg. Corner. ref. dwg. no. A1-003</i>	<i>FG: Finished Ground (m)</i>	
		1	177.00	
		2	175.85	
		3	176.20	
		4	175.55	
		1. Average Ground Elevation	176.15	
		2. Main Floor level	177.50m	
		3. Top of the Parapet wall, the highest level	190.61m	
4. Building Height (190.61m-176.15m)	14.46m			
Front yard setback (<i>Section 10.2</i>)	1m	4.8m		
Side yard setback (<i>Section 10.2</i>) (<i>unenclosed deck overhangs-protrudes by 0.4m into the required min. setback; max. allowed protrusion is 1.2m; see also definition of "projection"</i>)	3m	3.13m		none
Rear yard setback (<i>Section 10.2</i>)	6m	6.06m & 12m		none
Off-street parking (Type B-2.6m x 5.6m) (<i>Section 7.8.4 Multi-Unit Dwelling (10 units or more)= 0.8 per Dwelling Unit and no more than 2 per Dwelling Unit</i>)	56 stalls	67		Proposed is more than what is required
Off-Street Loading Spaces (<i>Section 7.8.12 at least one space for 15 units or more</i>)	1 space	1 space, 3m x 9m		none
Accessible Parking Space-handicapped (<i>Section 7.8.5 Accessible Parking Space Requirements</i>)	56/20=2.8 spaces Or	3 spaces, 4m x 5.6m		none



<p>a) A minimum of 1 Type "A" Parking Space shall be provided for every 20 Parking Spaces (Type A-4m x 5.6m)</p>	<p>70/20=3.5 spaces (7.8.2(c) rounded down</p>		
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4) Landscaping:

Formula for Calculation	Result
Zone landscaping requirement	A minimum 100% of the Residual Area shall be Landscaped.
Residual area = Total site area – Developed site area	5,861 m2 -4,669 m2= 1,192 m2
Required trees = Residual area / 25 m2	48
Required Shrubs = Residual area / 12.5 m2	

Landscaping	Required	Proposed
Landscaped area (m ²)		
Number of trees	48	48
Shrubbery	95	95
Landscaped area (m ²); specs as per Dwg.no. A1-004	1,192 m2	1,192 m2
General Landscaping Requirements		Proposed
<p><i>Section 7.5.4 Landscape Plan Requirements</i></p> <p>a) n/a</p> <p>b) Where a Landscape area is 500 m2 or greater is required, a detailed Landscape plan prepared by a landscape architect or landscape technologist shall be submitted with the application for Development in compliance with</p>		



the Landscaping regulations specified in this By-law, which shall include the lands proposed for Development as well as municipal reserves.
 c) The detailed Landscape plan (or Site plan) shall be prepared in accordance with the City's Development Standards.

Section 7.5.3 R2

- i. A minimum 100% of the Residual Area shall be Landscaped.
- ii. Required Landscape areas must be covered with either seed/sod, mulch beds, paving stones, walkways, Amenity Spaces, raised planters or other Landscaping materials.
- iii. Retention and preservation of existing natural vegetation and bedrock is encouraged.

TREES				
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT (meters)	NO.
DECIDUOUS TREES				
	FRAXINUS VIRGINICA	WHITE OAK	15m x 15m	12
	FRAXINUS PAZISI	WHITE OAK	15m x 15m	12
CONIFEROUS TREES				
	LARIX LARicina	TIMBER	15m x 15m	12

SHRUBS				
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT (meters)	NO.
	FRAXINUS VIRGINICA	WHITE OAK	7.5m x 7.5m	24
	FRAXINUS PAZISI	WHITE OAK	7.5m x 7.5m	24
	FRAXINUS VIRGINICA	WHITE OAK	7.5m x 7.5m	24
	FRAXINUS VIRGINICA	WHITE OAK	7.5m x 7.5m	24
	FRAXINUS VIRGINICA	WHITE OAK	7.5m x 7.5m	24

All shrub beds to be covered with 50-100mm of 100% natural rock or mulch over 5.0mm weed barrier with a water table or 100% 40US commercial potting fabric.
 All plant material shall meet the horticultural standards of the most current edition of the "Guide Specifications for Nursery Stock", produced by the Canadian Nursery Trade Association.
 All plants shall be suitable for the specific application and hardy to this region and local site conditions. The most current edition of the "Municipal Code" will be used as reference.

5) Vehicular Access and On-Site Traffic:

Requirements	Yes	No	N/A
Grade of parking area or driveway is not greater than 8%	✓		
At street intersections, driveways are set back from lot boundaries to ensure safety and efficiency of existing or planned traffic volumes	✓		
Driveways are separated by necessary distance to ensure safety and efficiency of existing or planned traffic volumes	✓		
Queuing of vehicles does not impact public roadways and will be designed to enhance on-site vehicular circulation and parking.	Required a Stop sign to each exit points		
Driveways and on-site parking have positive surface drainage to the roadway	✓		


6) Variance(s): No Variance, Not applicable

7) Analysis:

Provide your analysis, using the City's regulatory documents, of the following issues (use additional pages if required). Include variances, alternatives to requirements, recommendations, justifications, and any other pertinent information.

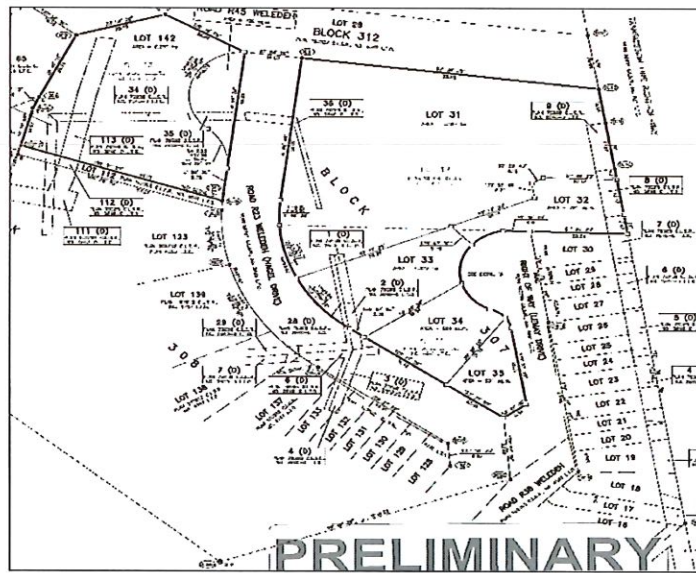
Drainage and grading	-Drainage and grading complies with Zoning By-law requirements and Development & Design Standard Policy.
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	<p>ZBL Section 7.1.2. Proposed Development shall incorporate proper Lot surface drainage so that the removal of surface waters will not adversely affect adjacent properties or the public storm drainage system.</p> <ul style="list-style-type: none"> - In Reviewed by City of Yellowknife Public Works & Engineering - Reviewed by City of Yellowknife Public Works & Engineering.
<p>Landscaping (Soft and Hard)</p>	<p>Complies with Zoning By-law Section 7.5.3 requirements and Development & Design Standard Policy Section 9. See breakdown above and approved landscaping dwg. no. A1-004.</p>
<p>Parking and driveways</p>	<p>Parking minimums are met.</p>
<p>Architecture</p>	<p>Not a Zoning By-law requirement. However, comments on the building design: The main floor-1st floor of the building is wheelchair-accessible and with service elevator. The roof is flat with parapet wall around. The building has recessed exterior walls and a balcony on each unit. The overall length of the building is 83m (272 feet) facing southwest, with exterior wall finish colour break every 9.75 m(32ft.).</p> 
<p>Design standards</p>	<p>There is no Design Guidelines in the R2 zone where the subject property is located.</p>
<p>Site development</p>	<p>The proposed development is on the north end of Hagel Drive and the north edge of Niven Phase 5 adjacent to a green space PR and NA zones; it will include walking-connection to existing Niven trail networks. The proposed apartment building is oriented to the southwest with broad spatial separations between the closest portion of the building against the adjacent existing and future buildings, ranging from 32m to 45 m.</p>



Land Development: The Niven Phase 5 subdivision has been in the development phase for over two decades due to the insolvency of Bond Street Ventures in early 2000, the distressed sale to Nova Developments, and the City’s repurchasing of lots in 2012. Recently, the City re-subdivided the remaining lots (see preliminary survey plan) to eliminate notable site constraints, such as the City’s Lift Station that was part of Lot 12 and Hagel Dr. without a turnaround. As a result, Lots 31 to 35 and Lot 142 were created. Lot 35 will be designated as PR. Lot 31 was sold to 507726 NWT LTD. The sale of Lot 31 and other Lots that may finally be sold and developed is the best option to solve the long-standing undeveloped and unsightly construction zone.



Variance(s)	No Variance
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Other
(explain):

2020 Community Plan:

A review of relevant policies contained within Community Plan have been reviewed as a part of this plan examination. The intent of all relevant policies have been met.

Section 4.5 Niven Residential

Niven, as identified on the Niven Residential Land Use Designation Map (Map 8), is a residential area that is located adjacent to the downtown core and provides easy access to the core of the City by vehicle and alternative transportation modes. It will continue to be a mix of low, **medium** and high density residential uses.

Area Development Plan (Scheme):

On February 28, 2004, Council adopted The Development Scheme 2004, By-law No. 4339. As a result, Niven Phase 5 was designated as Medium Density Residential.

Zoning By-law no. 5045:

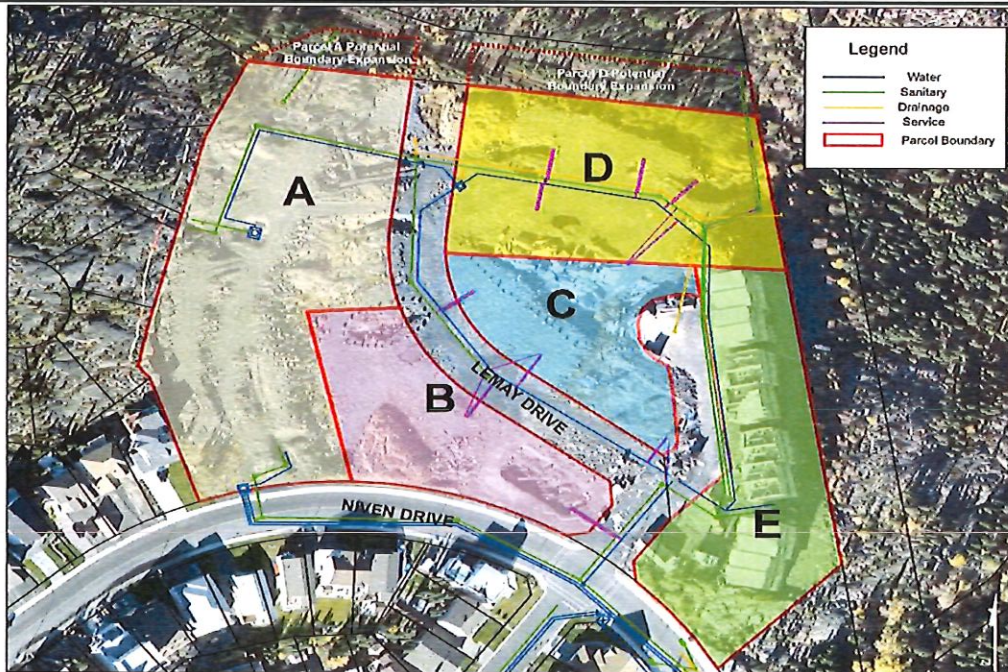
The subject property is within zone R2 – Medium Density Residential.

The purpose of the zone is to provide an area for **medium** to higher Density residential Development that encourages a mix of Dwelling types and compatible Uses.

Density:

The initial Development Permit for the site under Bond Street Properties Ltd. was for 92 units based upon public concerns of over-densification. The subject lands however were zoned R3 – Medium Density Residential, permitting one unit per 125m² of land. The density condition with Bond Street Properties Ltd. was established within the sales agreement and not as a zoning overlay. In May 2016 Council adopted a motion to increase the density and re-subdivision (re-parceling). The City prescribed a revised density of 181 units. However with a total area of 28,348 m² the Phase 5- R3 zone would have permitted 230 units.





Niven Phase 5 - Density

Parcel	Land Area (sq.m.)	Proposed Max. Density based on January 2012 appraisal from Stewart Weir McDonald	May 9, 2016 Council Approved Revised Density	As of 2022-Developed Units	Estimate at Full Build Out	Remarks
A (Lots 116,123,109)	9,602	76 units	76	56	71	
B (Lot 94)	3,949	14 units	20	14	20	
C (Lot 11)	3,371	14 units	20	0	12	less PR area
D (Lot 12) now is Lot 31 new Preliminary Survey	6,098	48 units	49	0	70	Nova PL-2022-0075, on portions of Lot 12 & 11
E	5,328	16 units	16	16	16	
Total	28,348	168 units	181	86	189	

Notes:

1. ZBL 4404, as amended would have permitted 230 units using the density formula of 125 sq.m. per unit.
2. Parcel D (using Lot 31 land area of 5,870 sq.m.) would have permitted 46 units only as the Lift Station Lot was excluded.



3. ZBL 5045 adopted by Council in March 2022, removed the density regulations.

4. Not Developable Areas for Dwelling Units:

Lift Station Lot = 791 sq.m.

Park Lot = 501 sq.m.

Turnaround half bulb= 419 sq.m.

Traffic Impact Analysis (2012 CTS Report):

Conclusions:

1) Currently, there are five proposed parcel sites for the Phase V development, which is proposed to consist of up to 156 residential dwelling units in total comprised of Parcel A (64 units), Parcel B (14 units), Parcel C (14 units), Parcel D (48 units), and Parcel E (16 units). For the purposes of this study, it was assumed that all five parcels would be constructed and fully occupied by the year 2017.

2) The five parcels combined are estimated to generate a total of 73 vehicle trips during the weekday morning in peak hour (i.e. 12 inbound and 61 outbound) and 84 vehicle trips during the weekday afternoon in peak hour (i.e. 53 inbound and 28 outbound). This is equivalent to an average of 1.4 vehicle movements per minute during the busier afternoon peak hour, which from a traffic engineering point of view is not considered significant.

3) The traffic impact assessment determined that by the year 2022 (i.e. 5 years post buildout), separate left and right turning lanes will be warranted on Niven Gate at Highway 4. As well, the west approach of the intersection of Franklin Avenue & 43rd Street will need to be restriped to provide for separate eastbound left and right turn lanes by the year 2022.

Recommendations

Based on the findings of this study, the following is recommended:

1) That City of Yellowknife monitor traffic volumes at the intersection of Franklin Avenue & 43rd Street to determine when restriping of the east approach is required to provide for separate left and right turn lanes on 43rd Street.

2) That the Northwest Territorial Department of Transportation and the City of Yellowknife monitor the intersection of Highway 4 & Niven Gate to determine when Niven Gate should be widened to provide for separate westbound left and right turn lanes. Development Officer Comments:

The TIA recommends that in 2022 after a five-year post-buildout of 156 units, separate left and right turning lanes will be necessary on Niven Gate at Highway 4 and the intersection of Franklin Avenue and 43rd Street.



To date, there were only 86 units developed and built. Assuming the proposed 70 units will be completed in 2 years in 2024, there will be a total of 156 units, equal to the number of units used in the study. The Niven entrance was widened in 2016 as per CTS recommendation, while the intersection of Franklin Avenue and 43rd Street remains unchanged. I recommend that the City conduct a new TIA for the whole Niven subdivision within 3 to 4 years to update the Franklin Avenue & 43rd Street situation as the new Zoning By-law 5045 has no more density requirements. In addition, there are multi-units currently under construction in other Phases, and it is expected to have more and including in Phase 5.

Sun Shadow Analysis:

Three dates of the year were selected for shadow verification, and none will affect the neighbouring residential properties.

The Proposed building casting shadows:

- On June 21 at 12 noon by 13m towards North
- On September 21 at 12 noon by 25m towards North
- On December 21 at 12 noon by 195m towards North

Peak (height) of the Proposed Building Compared to Neighborhood Buildings :

The proposed building roof peak is significantly lower than the neighbourhood buildings. And compared to the internal policy site specific factor that the height of any proposed structure shall not exceed 193.7m- CGVD2013 (194 m vertical datum 1928) above sea level to ensure appropriate relationships with adjacent land.

Property	Storey	Roof Peak Elevation (Above Sea Level CGVD2013)
Proposed 70 Units-The View Apt.	4	190.6
Cavo Condominium-56 Units	3	193.7
Redcliff-Lemay, Units 13 to 16	3	192.7
Redcliff-Lemay, Units 1 to 4	3	193.2
Redcliff-Hagel Condos, Lot 138 Block 308	2	191.2
Lot 64 Block 308, 5 McMahoon	2	202.5
Lot 100 Block 308, 7B McMahoon	2	201.4

APPEALANT CONCERNS

1. Misapplication of the Zoning By-law in the approval of the application;
2. Development Plan for Niven Phase 5 was changed as part of the zoning bylaw reform without public notification;
3. 56 out of 70 units proposed are two-bedroom design; approved parking spots exceed Zoning requirements however will not be enough spaces;



4. The area Density has been increased without notification to the public;
5. The Community Plan changed in June with no notice to the public;
6. 2012 Traffic Study is not valid as it showed and considered a connecting road to the north. The road would have connected Lemay to Moyle, this has not been constructed;
7. The Development Officer did not require a Traffic Impact Study prior to approving the Development Permit.

CONCLUSION (RELATED TO APPEALANT CONCERNS)

1. The Development Permit process is outlined in Zoning By-law No. 5045, section 4.5 and the Decision Process in section 4.6. The Development Officer, in their professional judgement, processed the application in accordance with section 4.5 of the Zoning By-law. It is of note that the proposed development subject to this application did not require any variance from the regulations of the Zoning By-law found applicable to the R2 zone. The Use proposed is a permitted use, not discretionary. The Development Officer did require conditions (outlined in the Notice of Decision) to form part of the decision to approve the application. Section 4.7 of the Zoning By-law outlines the requirements for Development Permit Conditions and Development Agreements. The requirements have been followed to date as they relate to the proposed application and decision.

The subdivision process is outside the scope of the Development Permit.

The City submits that the appropriate and relevant requirements of the Zoning By-law No. 5045 were applied and following in the issuance of a decision on Application PL-2022-0075.

2. The Niven Lake Development Scheme is not subject to the Development Permit decision.

To date, no changes have been made to the Niven Lake Development Scheme 2004 By-law No. 4339 (Area Development Plan) for Niven Phase 5. The Development Scheme has been amended for other related elements and the most recent amendment was in 2016 to re-designate a lot from "Park/Open Space" to "Low Density Residential". The Niven Lake Development Scheme does not include specifications related to residential density, occupancy or parking. It was put in place under the former General Plan and former



Zoning By-law. The current development proposed under PL-2022-0075 meets the intent of the Niven Lake Development Scheme and no amendment is required.

The current and ongoing re-subdivision project in Niven Phase 5 does not require Council endorsement and public notification. The subdivision approval authority falls under the jurisdiction of GNWT as per legislation, and on April 28, 2022, Niven Phase 5 received approval to re-subdivide lands on Hagel Drive. Any public notification would be the responsibility of the approval authority. This exercise is a standard practice for properties within the City and in this particular area. Since 1995, Niven Lake Area, has undergone several land iterations to conform to planning policies, consider topographic and terrain, and accommodate overall market demand and supply.

The Niven Lake Development Scheme was not amended as part of the Zoning By-law process; the scheme has not been amended at all related to the subject lands.

3. Total number of parking spaces for the proposed development complies with, and exceeds, the Section 7.8.4 Parking Standard. Through the Zoning By-law update process (2019-2022) parking standards were included in the regulations that were updated. In conformity with the Community Plan policies, the Zoning By-law includes regulations which seek to reduce the number of personal motor vehicles within the City. One method used to accomplish this is through creating opportunities for infill and new development within the built up area of the City. It is within the existing built up area that multi-modal transportation options exist and are to be promoted.

Within the Niven Lake Area residents have multiple transportation options, beyond the use of a personal motor vehicle. Niven Lake Area has municipal roads for cyclists which connect to all other areas of the City, and provide a short cycle to the downtown. Many trails navigate through the residential area; these trails also connect directly to downtown and various other part of the City. Consistent transit service is available to all residents in the Niven Lake Area with connections throughout the City.

All modes of transportation and distance to the downtown were considered in the creation of parking standards in the new Zoning By-law No. 5045. The Zoning process was public, took place over two and a half years, included public notification, public consultation and public hearings. No comments or concerns were received by any residents of Niven Lake Area related to parking standards through the Zoning process.



With the numerous multi-modal transportation options available it is not logical to assume that all bedrooms of a dwelling will include a person who drives and has a vehicle. To further extend that to reason there will be overflow parking onto Hagel Drive and Niven Drive is further flawed. Occupants of dwellings (number, age, etc) are not determined by a municipality, policy or zoning.

The City submits that the parking standards of the Zoning By-law No. 5045 are adequate and the proposal meets or exceeds the minimum parking requirements.

4. Density approved as part of this application was considered by the Development Officer to be in keeping with the new Community Plan and the new Zoning By-law. The previous lot configuration and density numbers were created prior to these documents being in place, and were contemplated as part of a previous purchase and sale agreement. Once the new subdivision was approved by the GNWT (2022), the City updated its information. The City notes that as the area still contains multiple vacant lots, the density may continue to change to ensure new development in Niven Phase 5 conforms to the policies of the Community Plan. The policies of the Community Plan only specify a difference between low, medium and high density; however, the policies do not define what constitutes each density level.

The City submits that the determination of 70 units on the subject property conforms to the Community Plan and Zoning By-law No. 5045.

5. The City of Yellowknife Community Plan was approved by the Minister of Municipal and Community Affairs on July 5, 2020 and received Third and Final Reading by City Council on July 27, 2020. No amendments to the Community Plan have occurred since coming into effect.

The City confirms no amendments have been made to the Community Plan.

6. The 2012 Traffic Impact Study, completed by a qualified professional, was reviewed in relation to the current site conditions, internally by a Professional Planner and Professional Engineer. The 2012 Traffic study evaluated capacity in the entire Niven Subdivision intersections, including the two main entrances at Niven Gate/Highway 4 and at Franklin Ave./43 St. intersections. While the document did include within the site area diagrams proposed Niven Phase 8 with a connecting road between Lemay Drive and Moyle Drive, it was not factored into the evaluations. It is noted that in the 2012 Traffic Impact Study reference to this road for the future is made and in all predicted



traffic counts this future road is counted at zero. This information is found on pages 21, 22, 24, 25, 26 and 27 of the study. To date, this road has not been constructed. No consideration of a future road was used in review of the decision on the proposed application.

The 2017 projected base traffic volume was derived taking the 2012 base traffic volume, adding the projected developments in the Niven Lake Phase 7 and the Niven Heights development multiplied by the traffic volume growth rate. Then, the 2022 base traffic volume was derived using the 2017 base traffic volume. Hypothetical projected Niven Phase 8 developments of 250 units were factored in by traffic volume growth rate.

Traffic projections to 2022 for all Niven intersections, including Niven Phase 5 Parcels, and except the two main entrances at Niven Gate and at Franklin, indicated a Level of Service (LOS) of A all the time, which corresponds to 'Excellent' or 'Free Flow'. The Niven Gate and Franklin entrances indicated a Level of Service (LOS) of C, D, E, F at different peak times, which correspond to 'considered acceptable' and one F at Niven Gate during weekday morning peak hour, which corresponds to 'at capacity'.

The 2012 Traffic Study recommends that in 2022 the City of Yellowknife monitor traffic volumes at the intersections of Highway 4 and Niven Gate, and Franklin Ave. and 43rd Street and determine when these main entrances should be widened or restriped.

No negative impact was seen to the existing road network of Hagel Drive, Lemay Drive, Niven Drive, Ballantyne Court nor at any connective intersection. To date the development considered as full build out in the study has not been realized. The City continues to monitor traffic volumes at the identified intersections and reviews the information on a regular basis. Based on monitoring and future increased traffic the 2012 Traffic Study may require updating.

The City submits that the 2012 Traffic Study does not require an update at this time and that an update is the responsibility of the City, not the single lot developer.

7. A number of consideration were made in the determination of the Development Officer to not require a new Traffic Study. Planning practice in the City has been, and continues to be, that the developer of a plan of subdivision is responsible for the traffic analysis of a proposed development area. The City of Yellowknife continues to be responsible for the traffic analysis in the Niven Lake Phase 5 Area. It is the responsibility of the City to conduct an update to a traffic study once the development density and vehicle trips



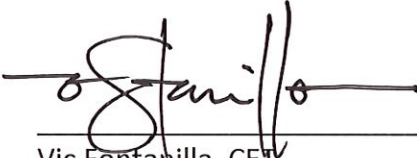
meet the levels identified in the current study. Development builds, and therefore the associated traffic, have not met the estimated growth utilized in the existing 2012 Traffic Study. With continued development in the Niven Area, an update is to be incorporated as additional land assembly is completed and lot designs are contemplated.

- i. The 2022 traffic volume is less than the proposed and used data in the 2012 Study for a contemplated full build out in 2017:
 - a. Niven Phase 5 original proposed development was never reached, 86 Units were only built.
 - b. Niven Phase 8 was never built. 250 Units were projected and used in the study which do not exist today.
 - c. Condo Development, beside Moyle Park, built 19 Units only. 30 Units were projected and used in the study.
 - d. Five R1 residential lots in Phase 7 are still undeveloped and the Niven Phase 5 R2 vacant lots.
- ii. The 56-Cavo Units and Niven Drive 6-Duplexes have no access to Hagel Drive. They are using and have direct access to Niven Drive, a Collector Road.
- iii. In December 2018, a traffic count was completed at the intersection of Lemay/Hagel/ Ballantyne Court/Niven Drive by Public Works and Engineering due to a public request for a 4-way stop sign. The result of vehicle per hour traffic at morning, noon and afternoon peak hours were 53, 24, and 17. The numbers were considered low, and did not warrant the installation of the requested sign.
- iv. A Professional Traffic Engineer typically recommends a traffic impact study for projects generating 100 vehicles per hour at peak times. The current vehicle traffic in Niven is low and considered excellent. The full build-out of Niven Phase 5 is estimated to happen in the next five to ten years.
- v. Hagel Drive is considered not to be a fully functional road; the current situation, the width, and the slope don't reflect the final road configuration. It will be built to City's standard and per the Consultant's engineering design in the future.
- vi. The need for new rental housing within the City outweighs the need to update a Traffic Study; which includes traffic flow estimates yet to be realized. The time required to complete an update to the 2012 Study would add undue delay to a much needed housing development.

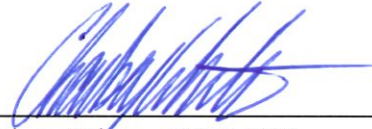


The City respectfully requests that the Development Appeal Board confirm the Development Officer decision to approve the Development Permit PL-2022-0075, with conditions.

Respectfully Submitted by:



Vic Fontanilla, CET
Land and Development Officer
City of Yellowknife



Charley White, MCIP, RPP
Director of Planning and Development
City of Yellowknife

Attachments:

1. Community Planning and Development Act
2. 2020 Community Plan
3. Zoning By-law 5045
4. Development Permit Approval Letter
5. Signed Planning Permit
6. Approved-Stamped Development Permit Plans
7. Stantec's Final Subdivision Design
8. GNWT's Subdivision Approval
9. 2012 Traffic Study



Development Officer's Report

PL-2022-0075

70 Units, Multi-Unit Dwelling,
Portions of Lots 11 & 12, Block 307,
Plan 4441, Yellowknife



CITY OF YELLOWKNIFE

Table of Contents

- The Issue
- Background of Niven Phase 5
- Context Map
- Relevant Policies and Legislation
- Considerations in Approval of the Development Permit
- Appellant Concerns
- Conclusion



THE ISSUE

An appeal of the decision of the Development Officer to issue Development Permit PL-2022-0075.

Multi-Unit Residential Development for 70 Units.



It is the opinion of the City that:

- the appropriate and relevant requirements of the Zoning By-law No. 5045 were applied and following in the issuance of a decision on Application PL-2022-0075;
- Niven Lake Development Scheme was not amended as part of the Zoning By-law process; the scheme has not been amended at all related to the subject lands;
- The parking standards of the Zoning by-law are adequate and the proposal meets or exceeds the minimum parking requirements.



It is the opinion of the City that:

- The determination of 70 units on the subject property conforms to the Community Plan and Zoning By-law;
- No amendments have been made to the Community Plan;
- The 2012 Traffic Study does not require an update at this time and that an update is the responsibility of the City, not the single lot developer; and
- The 2022 Traffic Study traffic volume is less than the data proposed and used for a contemplated full build out in 2017.

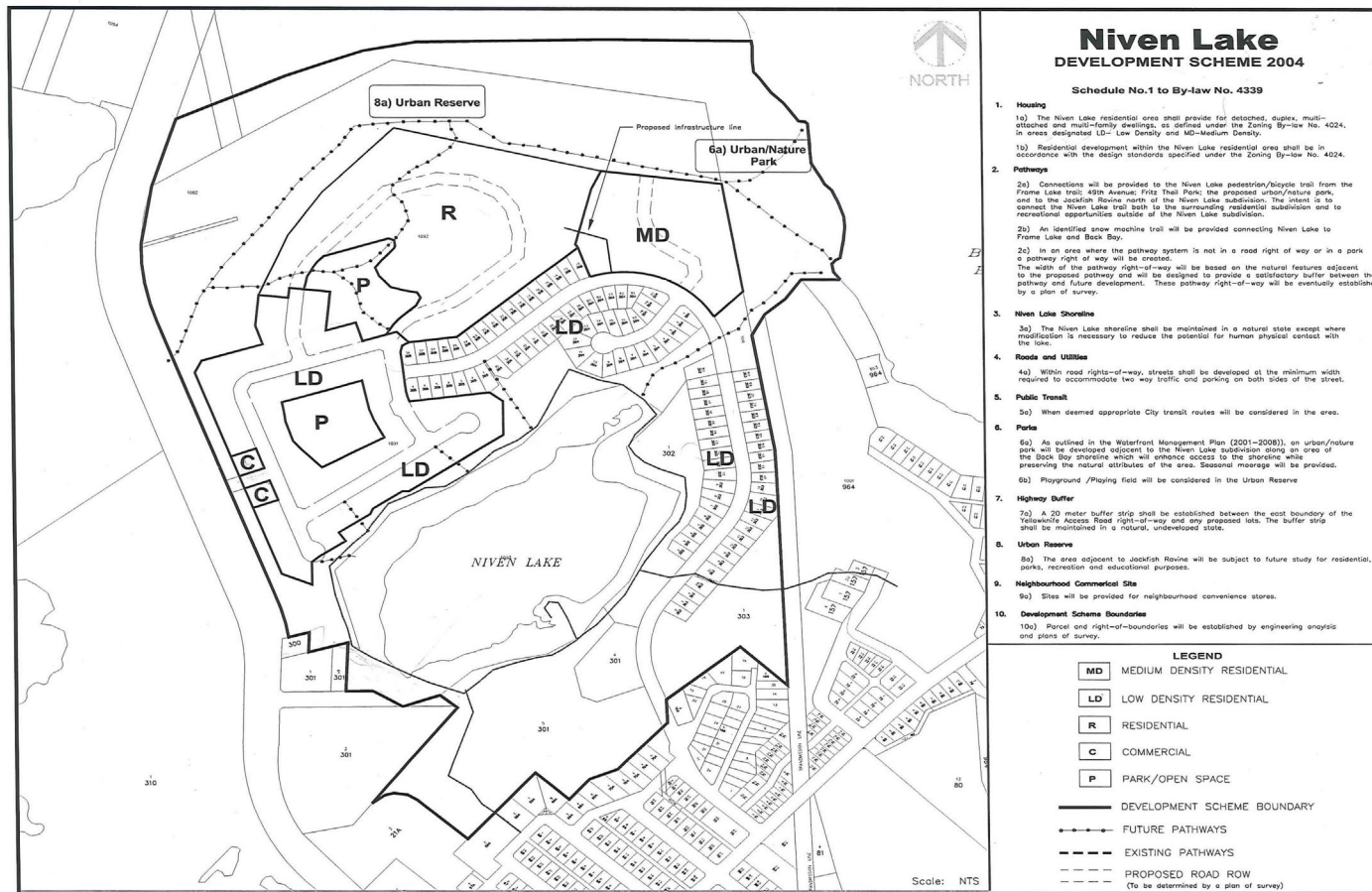


BACKGROUND OF NIVEN DEVELOPMENT

- In 1995, First Niven Lake Development Scheme By-law No. 3794 was adopted.
- In 2002, Niven Lake Development Scheme 2002 By-law No. 4181 was adopted.
- In 2003, Niven Lake Development Scheme 2003 By-law No. 4269 was adopted.
- In 2004, Niven Lake Development Scheme 2004 By-law No. 4339 was adopted. **Niven Phase 5** and Phase 6 were proposed.
- In 2007, Niven Lake Development Scheme 2007 By-law No. 4438 was adopted. Niven Phase 7 was proposed.
- In 2020, City of Yellowknife Community Plan was approved
- In 2022, City of Yellowknife Zoning By-law was approved



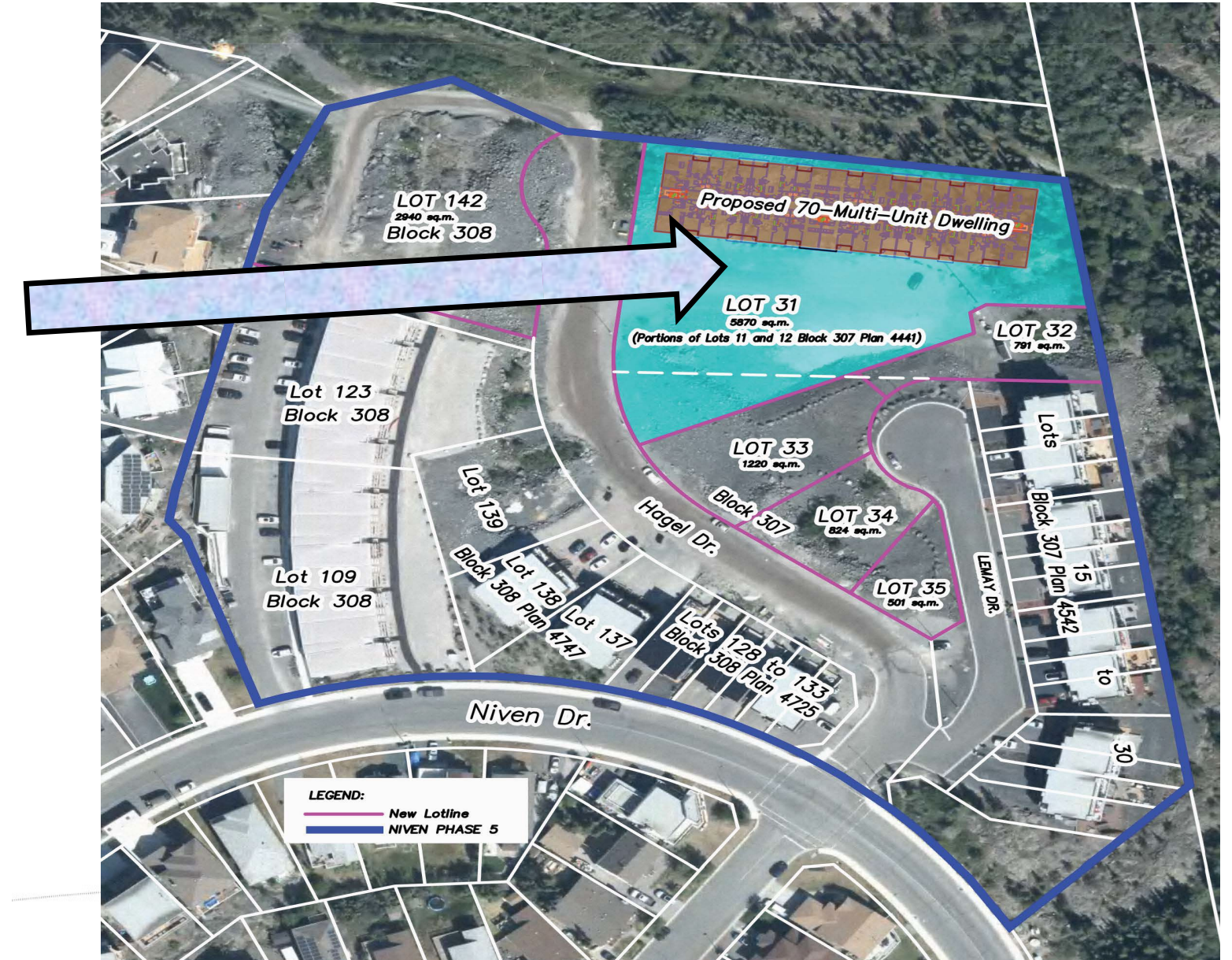
Niven Lake Development Scheme 2004 By-law No. 4339 (Phase 5 and 6)



- 1. Housing**
- 1a) The Niven Lake residential area shall provide for detached, duplex, multi-attached and multi-family dwellings, as defined under the Zoning By-law No. 4024, in areas designated LD, Low Density and MD-Medium Density.
 - 1b) Residential development within the Niven Lake residential area shall be in accordance with the design standards specified under the Zoning By-law No. 4024.
- 2. Pathways**
- 2a) Connections will be provided to the Niven Lake pedestrian/bicycle trail from the Frame Lake trail; 49th Avenue; First Trail Park; the proposed urban/nature park, and to the Jackfish Ravine north of the Niven Lake subdivision. The intent is to connect the Niven Lake trail path to the surrounding residential subdivision and to recreational opportunities outside of the Niven Lake subdivision.
 - 2b) An identified snow machine trail will be provided connecting Niven Lake to Frame Lake and Back Bay.
 - 2c) In an area where the pathway system is not in a road right of way or in a park a pathway right of way will be created. The width of the pathway right-of-way will be based on the natural features adjacent to the proposed pathway and will be designed to provide a satisfactory buffer between the pathway and future development. These pathway right-of-way will be eventually established by a plan of survey.
- 3. Niven Lake Shoreline**
- 3a) The Niven Lake shoreline shall be maintained in a natural state except where modification is necessary to reduce the potential for human physical contact with the lake.
- 4. Roads and Utilities**
- 4a) Within road rights-of-way, streets shall be developed at the minimum width required to accommodate two way traffic and parking on both sides of the street.
- 5. Public Transit**
- 5a) When deemed appropriate City transit routes will be considered in the area.
- 6. Parks**
- 6a) As outlined in the Waterfront Management Plan (2001-2008), an urban/nature park will be developed adjacent to the Niven Lake subdivision along an area of the Back Bay shoreline which will enhance access to the shoreline while preserving the natural attributes of the area. Seasonal moorage will be provided.
 - 6b) Playground /Playing field will be considered in the Urban Reserve
- 7. Highway Buffer**
- 7a) A 20 meter buffer strip shall be established between the east boundary of the Yellowknife Access Road right-of-way and any proposed lots. The buffer strip shall be maintained in a natural, undeveloped state.
- 8. Urban Reserve**
- 8a) The area adjacent to Jackfish Ravine will be subject to future study for residential, parks, recreation and educational purposes.
- 9. Neighbourhood Commercial Site**
- 9a) Sites will be provided for neighbourhood convenience stores.
- 10. Development Scheme Boundaries**
- 10a) Parcel and right-of-way-boundaries will be established by engineering analysis and plans of survey.

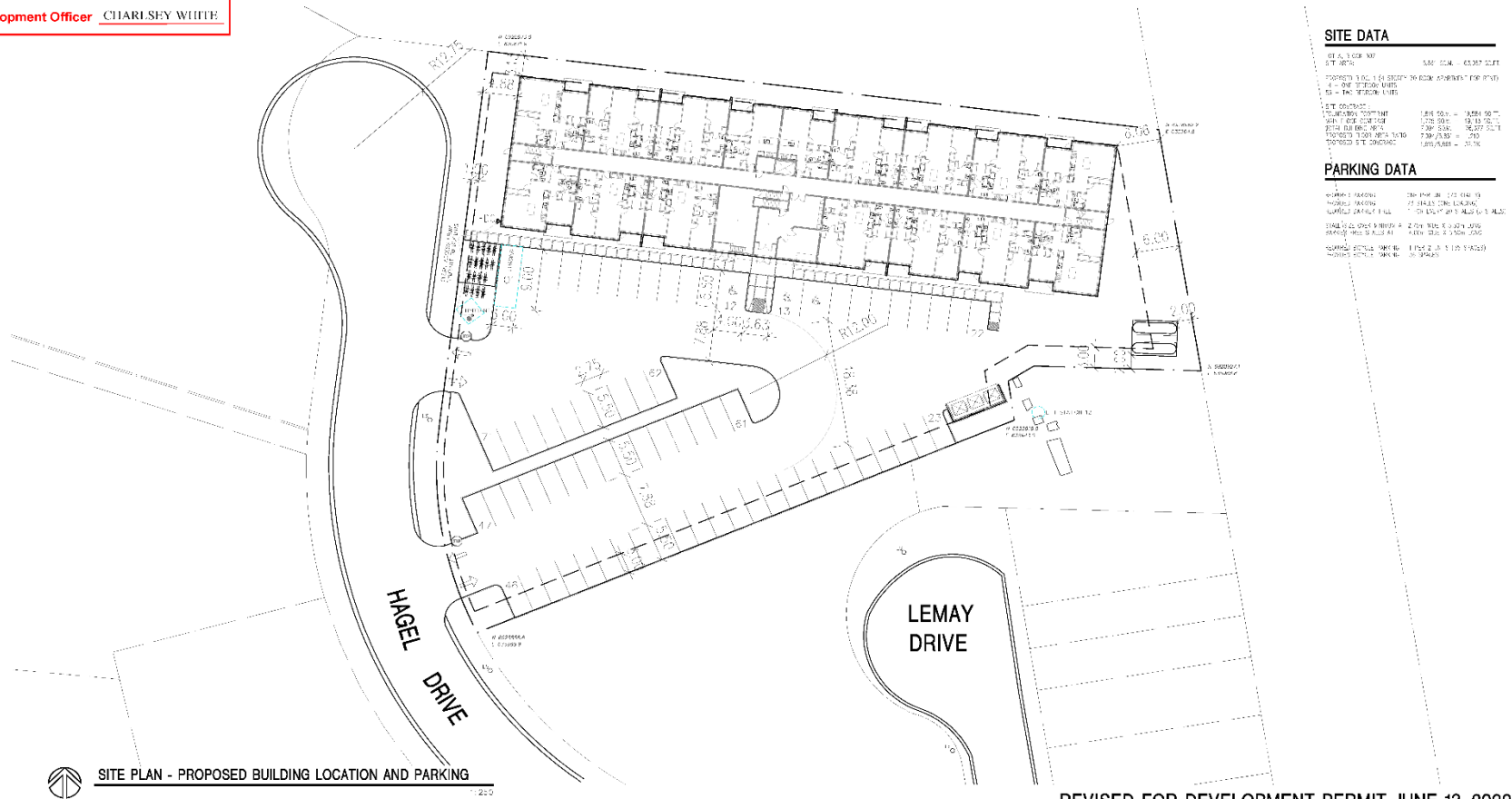
CONTEXT MAP

Site of the
Proposed
Development



Approved-Stamped Site Plan-1

City of Yellowknife
 Development Permit # PI-2022-0075
 Approved June 17, 2022 (Page 3 of 22)
 Development Officer CHARLESY WHITE



SITE DATA

LOT AREA (SQ. FT.)	540,000
LOT DIMENSIONS	540' x 100'
PROPOSED BLDG. FLOOR AREA (SQ. FT.)	10,000
FLOOR AREA PER LOT (%)	1.85%
PROPOSED BLDG. HEIGHT (FT.)	4
PROPOSED BLDG. TYPE	RESIDENTIAL

PARKING DATA

PROPOSED PARKING SPACES	20
REQUIRED PARKING SPACES	20
PROPOSED BLDG. TYPE	RESIDENTIAL
PROPOSED BLDG. HEIGHT (FT.)	4
PROPOSED BLDG. TYPE	RESIDENTIAL

SITE PLAN - PROPOSED BUILDING LOCATION AND PARKING

NOTE:
 The contractor shall locate and verify all dimensions and measurements in accordance with the approved site plan and ensure that all dimensions and measurements are correct. The contractor shall be responsible for any errors or omissions in the field. The contractor shall be responsible for any errors or omissions in the field. The contractor shall be responsible for any errors or omissions in the field.

CONSULTANT: _____
 SEAL: _____

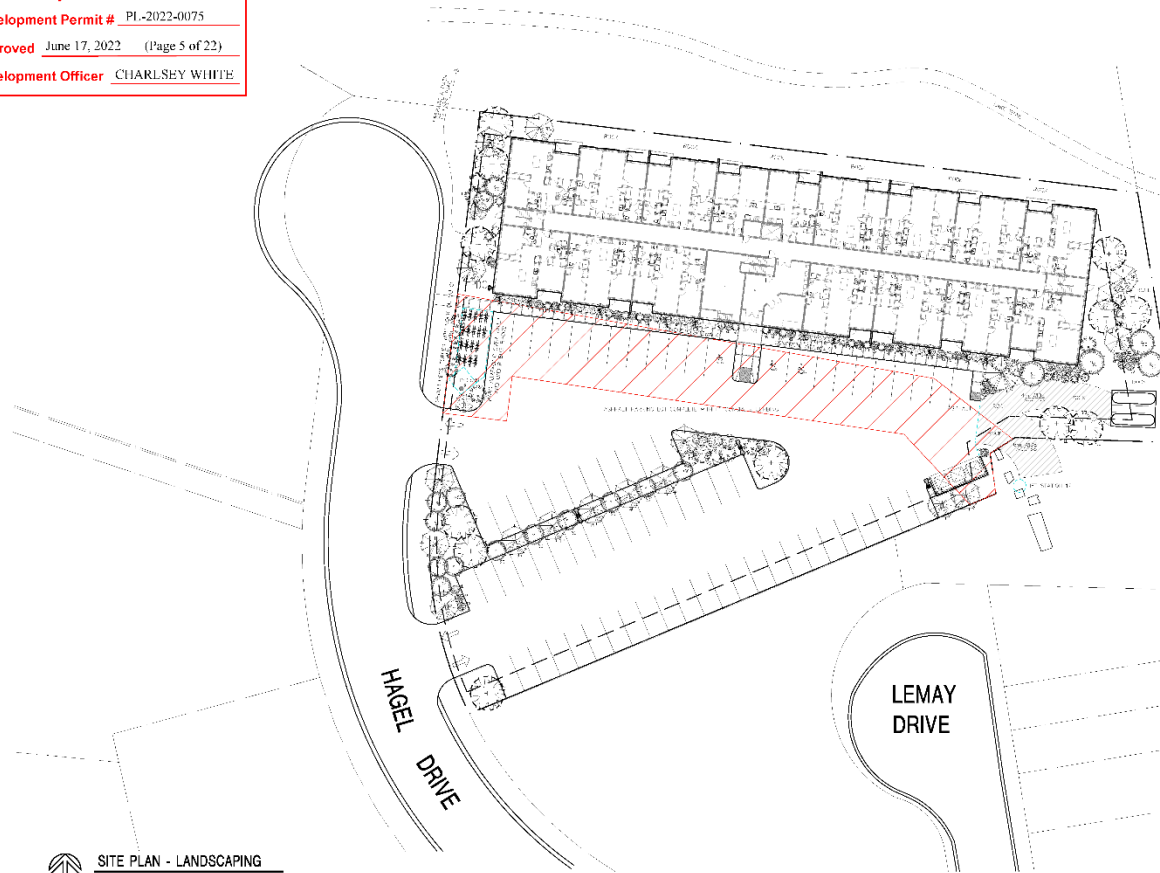
ISSUE: _____
 #202, 11121-156 ST., EDMONTON, ALBERTA T6M 1N0

WILLIAM RUTLEDGE ARCHITECT

REVISOR: _____ DATE: _____
 PROJECT: THE VIEW APARTMENTS PHASE 5 - NIVEN LAKE LOT A, BLOCK 307, PLAN 4441 YELLOWKNIFE N.W.T.
 TEL: 1 780 154 3422 FAX: 1 780 482 2921
 DWG. NO: A1-002 JOB NO: 21-0400

Approved-Stamped Site Plan-2

City of Yellowknife
 Development Permit # PL-2022-0075
 Approved June 17, 2022 (Page 5 of 22)
 Development Officer CHARLSEY WHITE



LANDSCAPE DATA

NOTE: ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS. PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS. PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS.

TREES (BY AREA)				
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT (M)	DBH (CM)
(Symbol)	SPRING BURNING BUSH	SPRING BURNING BUSH	5.0m	7.5
(Symbol)	RED TWIG DOGWOOD	RED TWIG DOGWOOD	4.0m	7.5
(Symbol)	DOGWOOD	DOGWOOD	4.0m	7.5
(Symbol)	DOGWOOD	DOGWOOD	4.0m	7.5

SHRUBS (BY AREA)				
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT (M)	DBH (CM)
(Symbol)	HYDRANGEA	HYDRANGEA	2.4m	5.0
(Symbol)	SPRING BURNING BUSH	SPRING BURNING BUSH	2.4m	5.0
(Symbol)	DOGWOOD	DOGWOOD	2.4m	5.0
(Symbol)	DOGWOOD	DOGWOOD	2.4m	5.0

PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS. PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS. PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS.

SITE PLAN - LANDSCAPING

NOTE:
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF PLANTINGS AND MATERIALS. PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS. PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF YELLOWKNIFE LANDSCAPING GUIDELINES AND THE SPECIFICATIONS FOR PLANTINGS AND MATERIALS.

CONSULTANT:

SEAL:

DATE:

WILLIAM RUTLEDGE ARCHITECT

REVISED FOR DEVELOPMENT PERMIT JUNE 16, 2022

PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.

DWG. NO. A1-004

CONSIDERATIONS IN APPROVAL OF THE DEVELOPMENT PERMIT

COMMUNITY PLANNING AND DEVELOPMENT ACT S.N.W.T. 2011,c.22

Section 3, Community Plan

Section 12, Zoning By-law

Section 33-36, Subdivision Authority



RELEVANT POLICIES AND LEGISLATION

2020 Community Plan

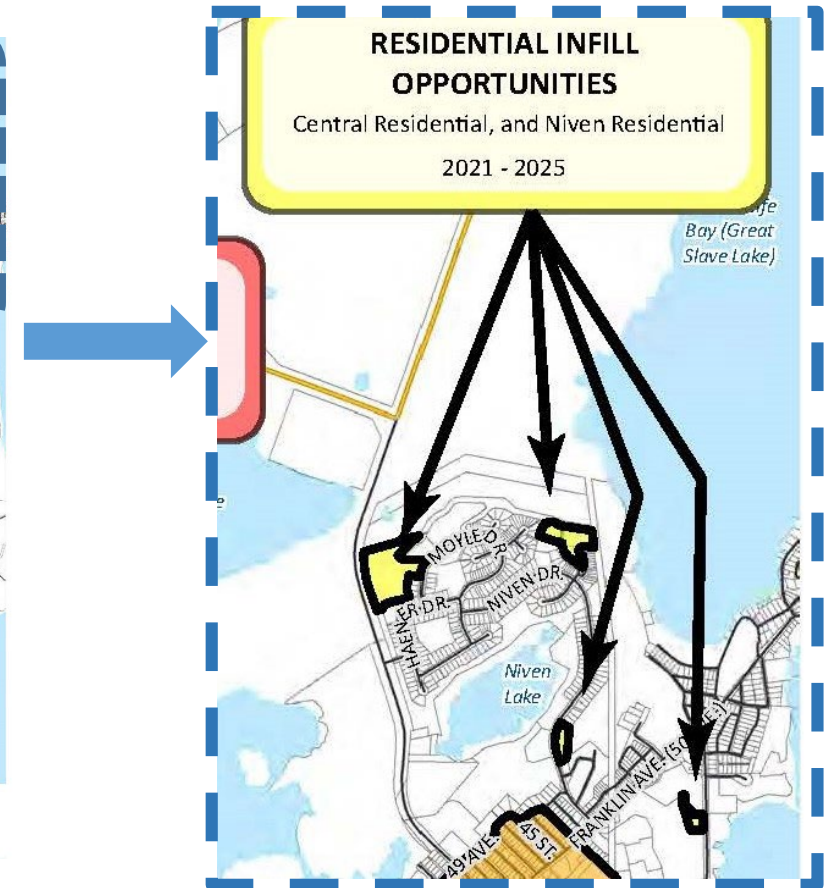
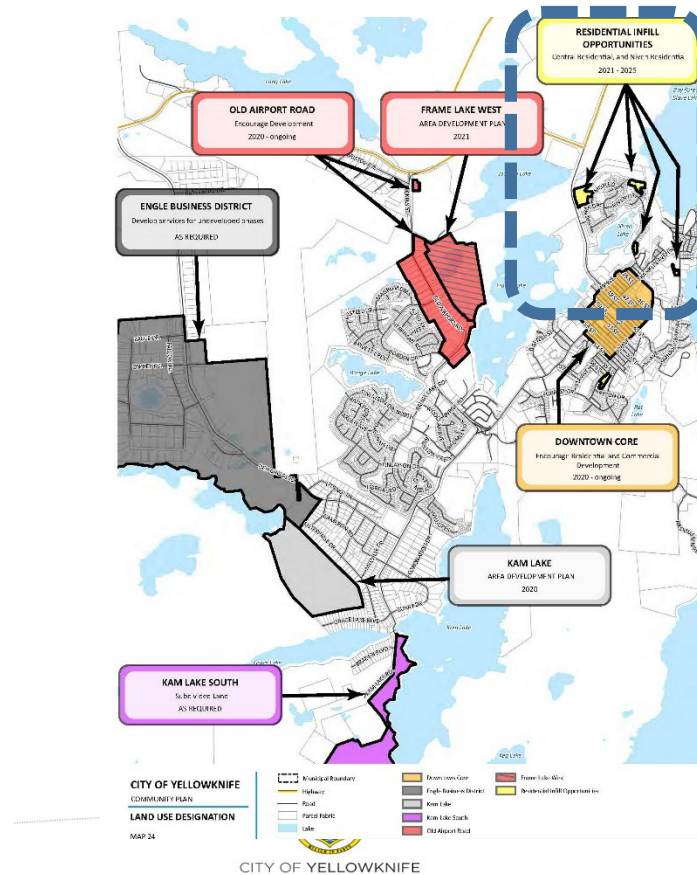
There are many policies within the Community Plan that are considered, together, and the document is read as a whole where applicable policies are applied.

See associated report submitted for details.



2020 Community Plan

Section 5.4 Subdivision and Land Development Sequencing (Map 24)



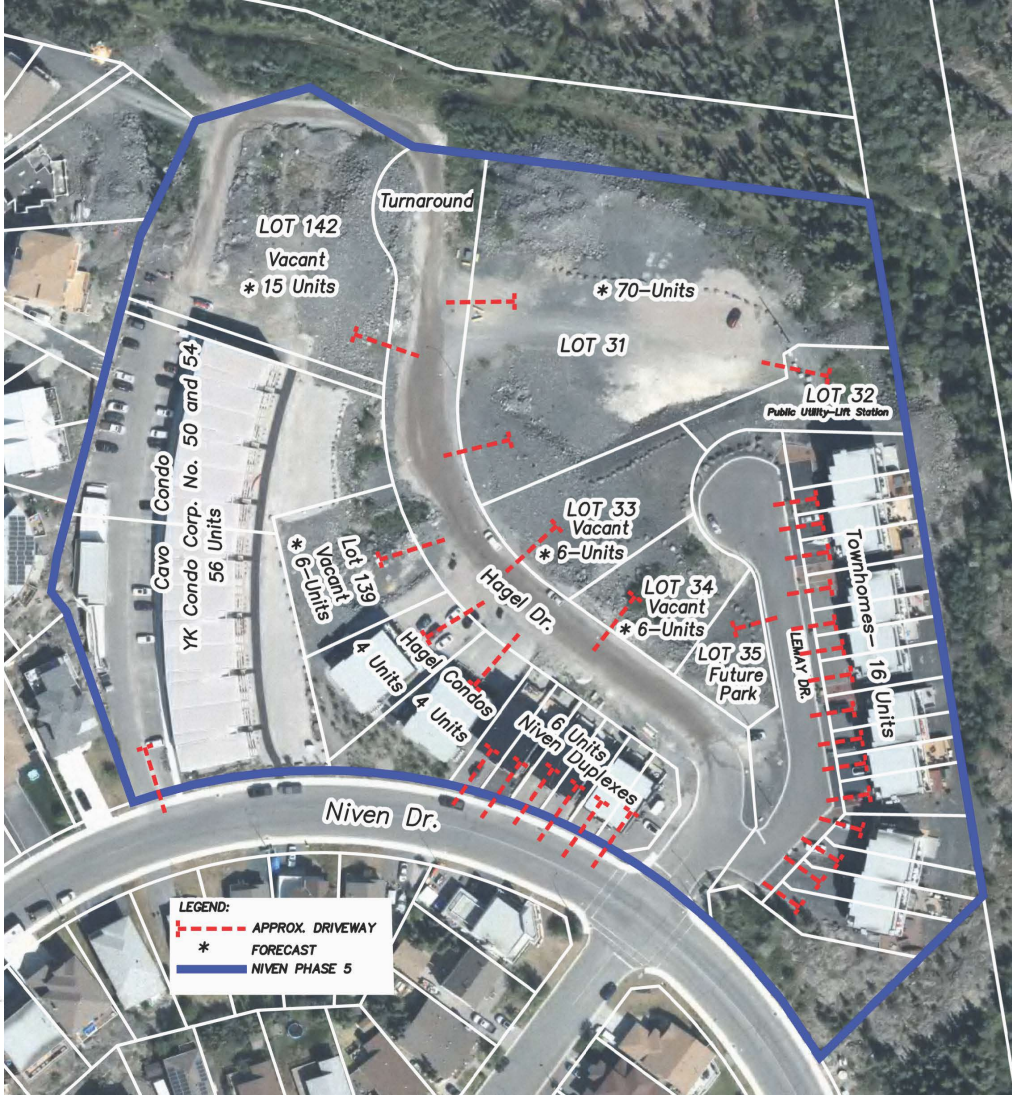
Zoning By-Law 5045

10.2. R2 – Medium Density Residential
7.8.4 Parking Standard Areas

*See associated Technical Review for details



Traffic Impact Analysis



APPELLANT CONCERNS

- Misapplication of the Zoning By-law in the approval of the application;
- Development Plan for Niven Phase 5 was changed as part of the zoning bylaw reform without public notification;
- 56 out of 70 units proposed are two-bedroom design; approved parking spots exceed Zoning requirements however will not be enough spaces;
- The area Density has been increased without notification to the public;



- The Community Plan changed in June with no notice to the public;
- 2012 Traffic Study is not valid as it showed and considered a connecting road to the north. The road would have connected Lemay to Moyle, this has not been constructed;
- The Development Officer did not require a Traffic Impact Study prior to approving the Development Permit.

CONCLUSION

- The Decision of the Development Officer conforms to the Community Plan policies;
- The Decision of the Development Officer followed the regulations of the Zoning By-law;
- A Traffic Impact Study is not required. It was reviewed and analyzed internally by professional staff.
- The City respectfully requests that the Development Appeal Board confirm the Development Officer decision to approve the Development Permit PL-2022-0075, with conditions.



SEE APPENDIX C –
*COMMUNITY PLANNING AND
DEVELOPMENT ACT*

**SEE APPENDIX D –
COMMUNITY PLAN BY-LAW
NO. 5007**

**SEE APPENDIX A –
ZONING BY-LAW NO. 5045**

Development Permit Notification Letter

Date June 17, 2022 File Lots 11 and 12 (Portion) Block 307 Plan 4441

507726 NWT Ltd
1000, 13920 Yellowhead Trail
Edmonton, AB T5L 3C2

Dear Milan Mrdjenovich,

Re: Approval of Development Permit: Multi-Unit Dwelling-70 Units:Application Number: PL-2022-0075

The City of Yellowknife Planning and Lands Division has approved your application for Development Permit: PL-2022-0075 for a Multi-Family Dwelling-70 Units at portions of Lots 11 and 12 Block 307 Plan 4441 on Hagel Dr. Niven Phase 5.

A Public Notice will be posted on the property with the permit effective on the date indicated. The Public Notice must be left up until the effective date, after which you may take it down. Please note a Development Permit is not a Building Permit, you must apply for and receive a Building Permit before beginning construction.

The application was approved with the following conditions:

1. The Development shall comply with all stamped approved plans and with the executed Development Agreement;
2. Landscaping and hardscaping shall be completed by September 30th, 2024 and maintained for the life of the development, as indicated in the stamped approved plans and Development Agreement;
3. Plants used for landscaping shall be of capable healthy growth in Yellowknife, grown from northern stock, with certification that the plants are grown north of 54 degrees latitude;
4. A Surveyor's Real Property Report shall be submitted to the City prior to occupancy. The Real Property Report must indicate i) all permanent features on site and ii) finished grades at all corners of the lot and buildings and periodic grades every 20m;
5. The property owner is responsible for freeze protection of water lines during construction;
6. Outdoor lighting on the proposed development shall be sufficient only to provide for safety, security, display or attraction for any development. Lighting shall be arranged so that no direct rays of light are projected to adjacent properties or interfere with the effectiveness of any traffic control device;
7. The Developer shall delineate all parking spaces on the property and install on-site signs;
8. The Developer shall delineate and identify with visual indicators a minimum of 3 accessible parking spaces on the property and 1 loading and unloading zone;
9. The Developer shall install waste, compost and recycling bins with screening; and
10. A Water Connection Permit will be required for the water and sewer services to each building. Permit application must include Plan and Profile drawings for the servicing that are signed and stamped by an Engineer registered with NAPEG. For information on the permit contact construction@yellowknife.ca.

If you have any questions or concerns, please do not hesitate to contact the undersigned between regular business hours.

Sincerely,



Charley White MCIP, RPP
Director
Planning and Development
City of Yellowknife

PUBLIC NOTICE

CITY OF YELLOWKNIFE – ZONING BY-LAW NO. 4404

NOTICE OF DECISION

Development Permit Application No. PL-2022-0075, dated the 21 day of April, 2022, for a development taking place at the following location: on Hagel Dr. Niven Phase 5

Lot 11 and 12 (Portions) Block 307 Plan # 4441

Intended Development: Multi-Unit Dwelling (70 Units)

Has been APPROVED subject to following conditions:

1. The Development shall comply with all stamped approved plans and with the executed Development Agreement;
2. Landscaping and hardscaping shall be completed by September 30th, 2024 and maintained for the life of the development, as indicated in the stamped approved plans and Development Agreement;
3. Plants used for landscaping shall be of capable healthy growth in Yellowknife, grown from northern stock, with certification that the plants are grown north of 54 degrees latitude;
4. A Surveyor's Real Property Report shall be submitted to the City prior to occupancy. The Real Property Report must indicate i) all permanent features on site and ii) finished grades at all corners of the lot and buildings and periodic grades every 20m;
5. The property owner is responsible for freeze protection of water lines during construction;
6. Outdoor lighting on the proposed development shall be sufficient only to provide for safety, security, display or attraction. Lighting for any development shall be arranged so that no direct rays of light are projected to adjacent properties or interfere with the effectiveness of any traffic control device;
7. The Developer shall delineate all parking spaces on the property and install on-site signs;
8. The Developer shall delineate and identify with visual indicators a minimum of 3 accessible parking spaces on the property and 1 loading and unloading zone;
9. The Developer shall install waste, compost and recycling bins with screening; and
10. A Water Connection Permit will be required for the water and sewer services to each building. Permit application must include Plan and Profile drawings for the servicing that are signed and stamped by an Engineer registered with NAPEG. For information on the permit contact construction@yellowknife.ca.

DATE of Issue of this Notice of Decision: June 17, 2022

EFFECTIVE DATE: July 2, 2022



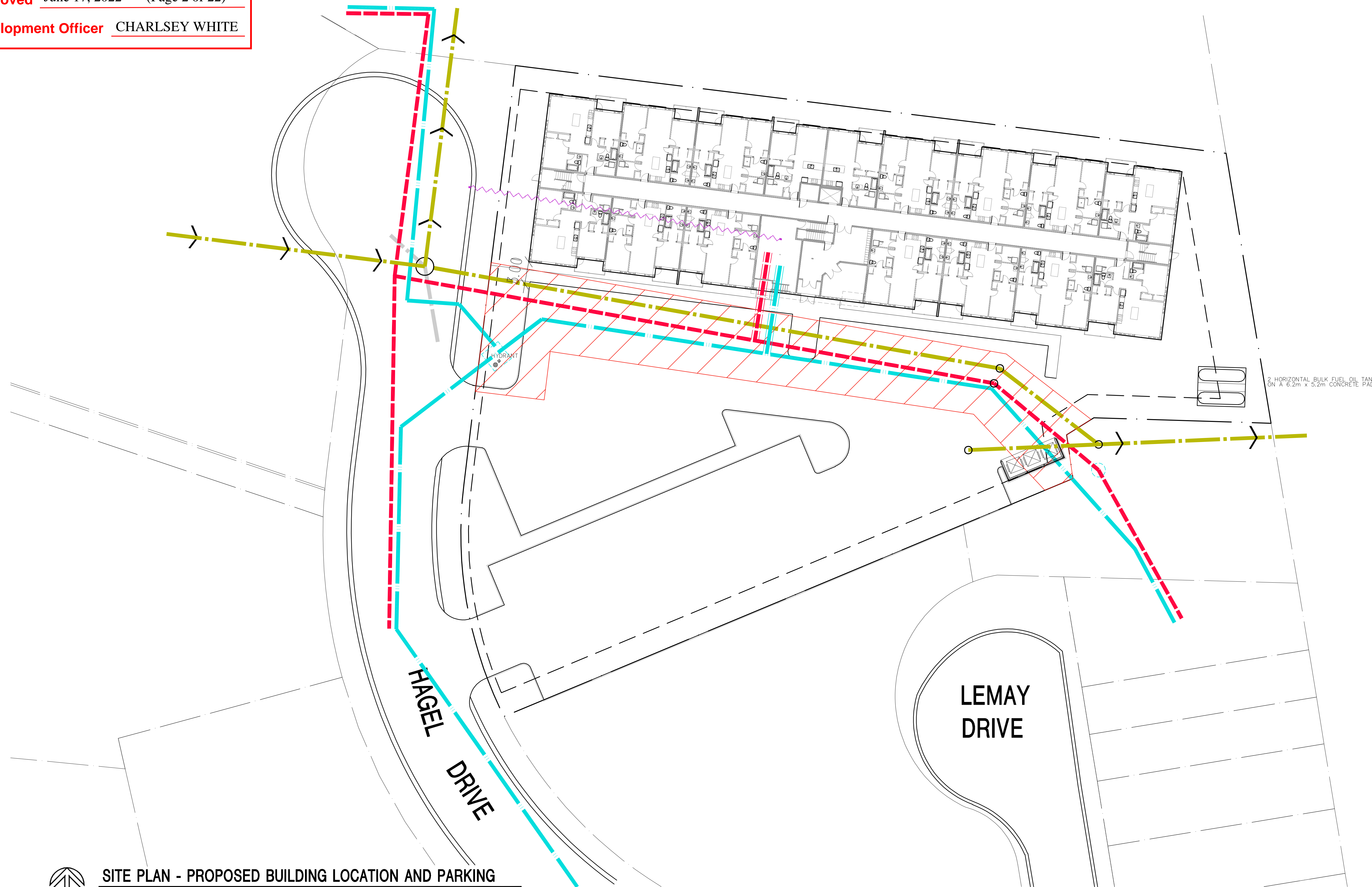
Development Officer

NOTICE:

Any persons claiming to be adversely affected by the development may, in accordance with the *Community Planning and Development Act*, appeal to the Development Appeal Board, c/o City Clerk's Office, tel. 920-5646, City of Yellowknife, P.O. Box 580, Yellow knife, NT X1A 2N4. Please note that your notice of appeal must be in writing, comply with the *Community Planning and Development Act*, include your contact information and include the payment of the \$25 appeal fee (the appeal fee will be reimbursed if the decision of the Development Officer is reversed). The appeal must be received on or before 4:30 p.m. on the 1 day of July, A.D., 20 22.

AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE OWNER OF THE SUBJECT PROPERTY IS AUTHORIZED TO REMOVE THIS NOTICE. ALL OTHER PERSONS FOUND REMOVING THIS NOTICE WILL BE PROSECUTED.



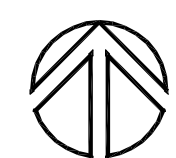


SITE DATA

LOT A, BLOCK 307 SITE AREA:	5,861 SQ.M. = 63,087 SQ.FT.
PROPOSED BLDG. 1 (4 STOREY 70 ROOM APARTMENT FOR RENT) 14 - ONE BEDROOM UNITS 56 - TWO BEDROOM UNITS	
SITE COVERAGE :	
FOUNDATION FOOTPRINT	1,819 SQ.M. = 19,584 SQ.FT.
MAIN FLOOR COVERAGE	1,775 SQ.M. = 19,113 SQ.FT.
TOTAL BUILDING AREA	7,094 SQ.M. = 76,377 SQ.FT.
PROPOSED FLOOR AREA RATIO	7,094/5,861 = 1.210
PROPOSED SITE COVERAGE	1,819/5,861 = 32.3%

LEGEND

EXISTING WATER LINE	
PROPOSED WATER LINE	
EXISTING STORM	
PROPOSED SANITARY	
EXISTING SANITARY	
PROPOSED ELECTRICAL CONNECTION	



SITE PLAN - PROPOSED BUILDING LOCATION AND PARKING

1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022

NOTE:
The contractors shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, Specifications and on-site conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

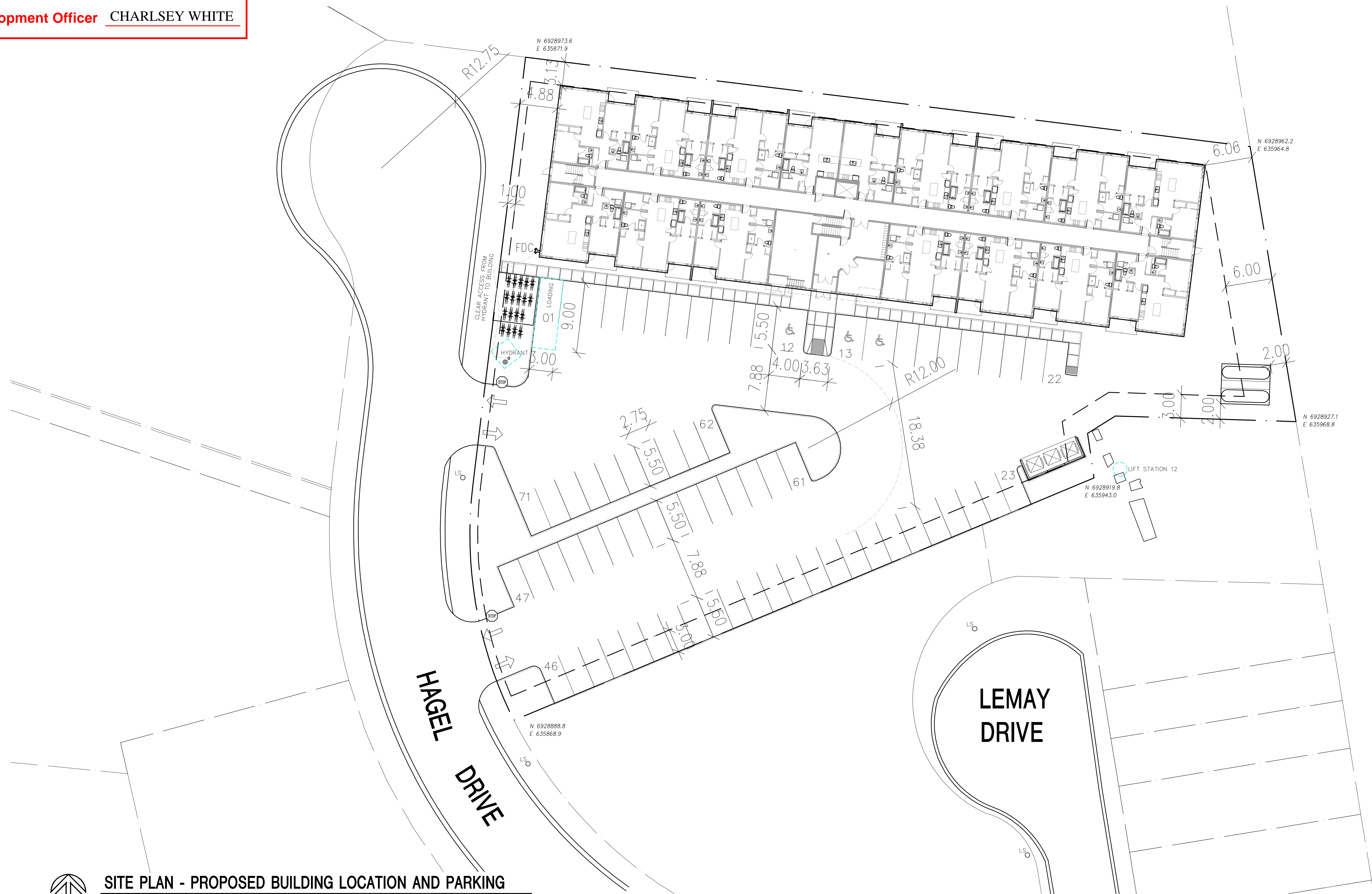
SEAL:

ISSUE:

**WILLIAM
RUTLEDGE
ARCHITECT**

PROJECT:
THE VIEW APARTMENTS
PHASE 5 - NIVEN LAKE
LOT A, BLOCK 307, PLAN 4441
YELLOWKNIFE N.W.T.

DWG:
A1-001
JOB NO: 21-0400



SITE DATA

LOT A, BLOCK 307	5,861 SQ.M. = 63,087 SQ.FT.
SITE AREA:	
PROPOSED BLDG. 1 (4 STOREY 70 ROOM APARTMENT FOR RENT)	
14 - ONE BEDROOM UNITS	
56 - TWO BEDROOM UNITS	
SITE COVERAGE :	
FOUNDATION FOOTPRINT	1,819 SQ.M. = 19,584 SQ.FT.
MAIN FLOOR COVERAGE	1,775 SQ.M. = 19,113 SQ.FT.
TOTAL BUILDING AREA	7,094 SQ.M. = 76,377 SQ.FT.
PROPOSED FLOOR AREA RATIO	7,094/5,861 = 1.210
PROPOSED SITE COVERAGE	1,819/5,861 = 32.3%

PARKING DATA

REQUIRED PARKING	- ONE PER UNIT (70 STALLS)
PROVIDED PARKING	- 73 STALLS (ONE LOADING)
REQUIRED BARRIER-FREE	- 1 FOR EVERY 20 STALLS (3 STALLS)
STALL SIZE OVER MINIMUM AT 2.75m WIDE X 5.50m LONG	
BARRIER FREE STALLS AT 4.00m WIDE X 5.50m LONG	
REQUIRED BICYCLE PARKING	- 1 PER 2 UNITS (35 SPACES)
PROVIDED BICYCLE PARKING	- 36 SPACES



SITE PLAN - PROPOSED BUILDING LOCATION AND PARKING

1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 13, 2022

NOTE:
The contractors shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, Specifications and on-site conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

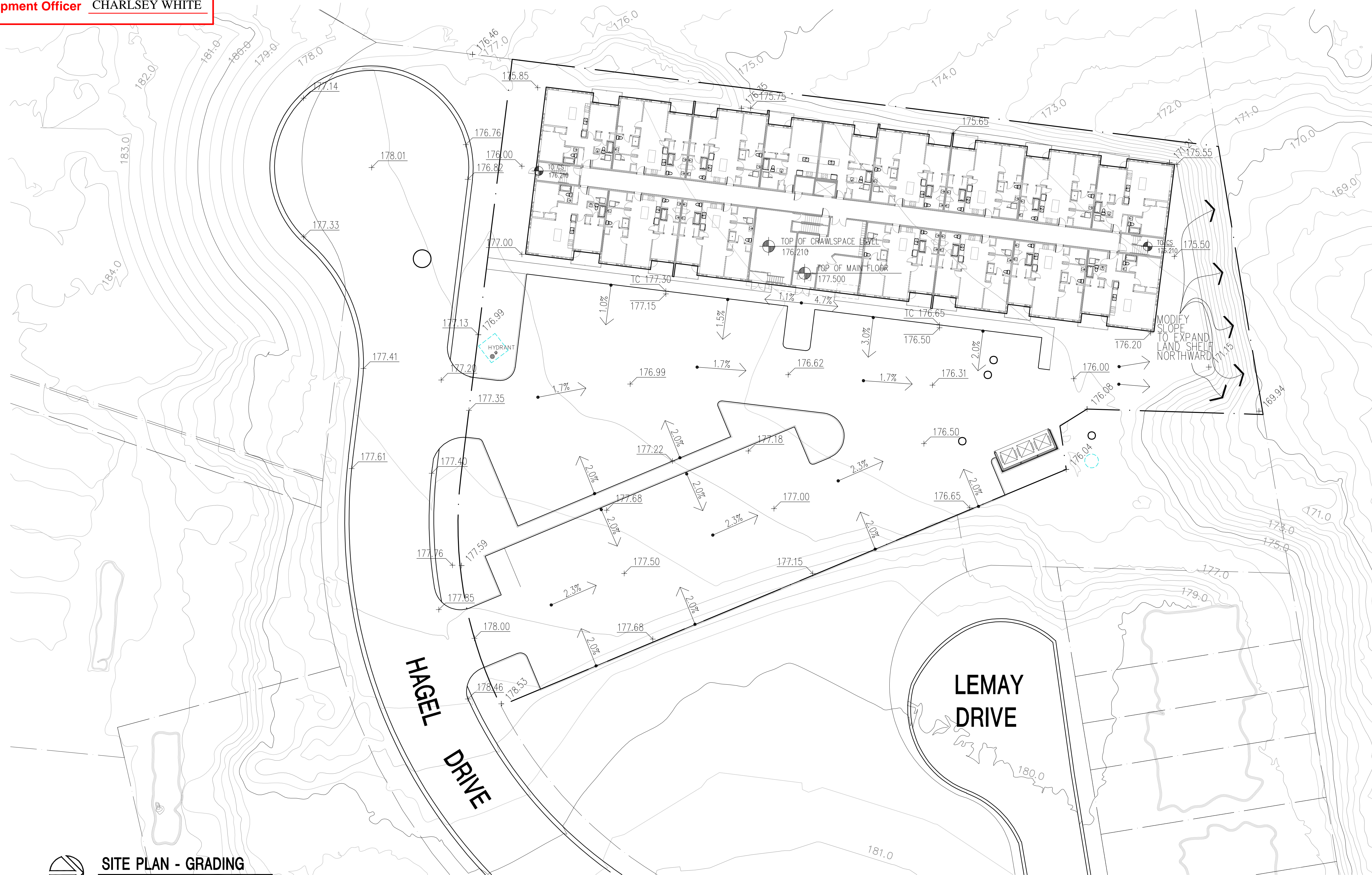
SEAL:

ISSUE:

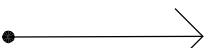
**WILLIAM
RUTLEDGE
ARCHITECT**

PROJECT:
**THE VIEW APARTMENTS
PHASE 5 - NIVEN LAKE
LOT A, BLOCK 307, PLAN 4441
YELLOWKNIFE N.W.T.**

DWG:
A1-002
JOB NO: 21-0400



SITE DATA

EXISTING ELEVATIONS BASED ON STANTEC'S GRADING PLAN + 199.999
 DESIGN ELEVATION (FINISHED) + 199.999
 SLOPE INDICATOR (SLOPES DOWN U.N.O.) 
 VERTICAL DATUM CGVD2013:CGG2013a

AVERAGE BUILDING HEIGHT

THE MAIN FLOOR LEVEL IS SET AT 177.50 GEO. THE ROOF PARAPETS AT THE CORNERS OF THE BUILDING IS TO BE 4'-0" (13.1m) ABOVE THE MAIN FLOOR AT 190.60 GEO.

USING ONLY THE CORNERS OF THE BUILDING, WHICH ARE 177.00 + 175.85 + 175.55 + 176.20 = 704.60
 $704.60 / 4 = 176.15$ GEO AVERAGE
 $190.60 - 176.15$ GEO = 14.45m

 **SITE PLAN - GRADING**
 1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022

NOTE:
 The contractors shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, Specifications and on-site conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

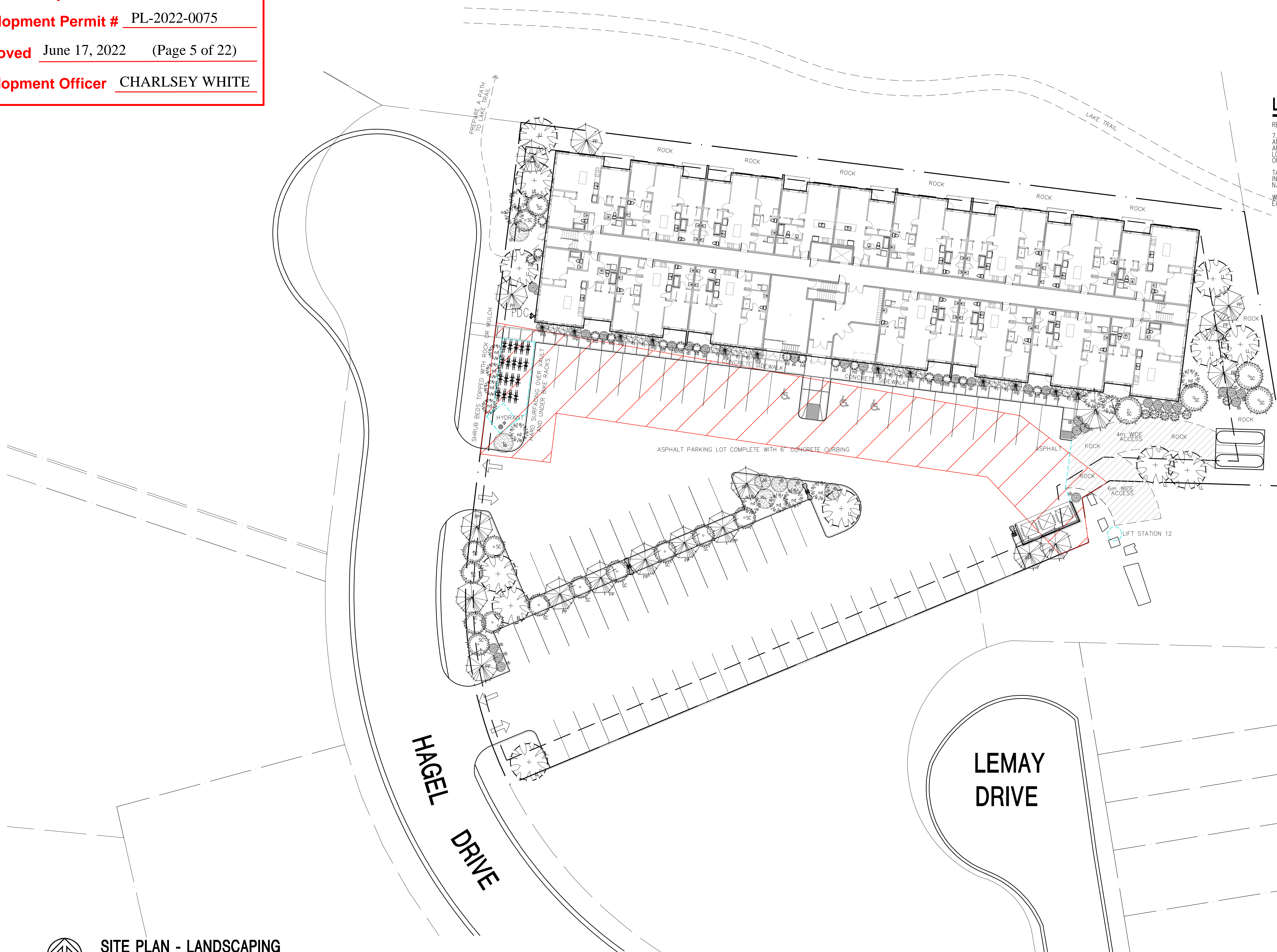
SEAL:

ISSUE:

WILLIAM RUTLEDGE ARCHITECT

PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.

DWG:
A1-003
 JOB NO: 21-0400



LANDSCAPE DATA

REQUIRED LANDSCAPING
 7.5.1 (c) OF THE YELLOWKNIFE ZONING BYLAW STATES THAT ANY PART OF THE LOT NOT OCCUPIED BY EXISTING NATURAL AREA, BUILDINGS, STRUCTURES, EASEMENTS, PARKING AREAS, LOADING SPACES, DRIVEWAYS, EXCAVATIONS, OR PERMITTED OUTDOOR STORAGE IS TO BE MAINTAINED AS LANDSCAPE AREA.
 TABLE 7-1 OF 7.5.3. NOTES THAT 100% OF RESIDUAL AREA IN AN R2 ZONE IS TO BE LANDSCAPED OR MAINTAINED IN A NATURAL STATE.
 WITHIN THE RESIDUAL AREA SO CALCULATED, ONE TREE FOR EACH 25m² AND TWO SHRUBS FOR EACH 25m² IS REQUIRED.

SITE AREA:	[63,087 sq. ft.]	5,861.00m ²
BUILDING:		1,841.75m ²
PAVING: ASPHALT AND CONCRETE		2,731.35m ²
VAULT: CONCRETE PAD AND BIKE SUPPORT		46.33m ²
EASEMENT: (NOT COVERED BY OTHER)		49.96m ²
LANDSCAPE AREA:	[13,117.5 sq. ft.]	1,191.61m ²
REQUIRED TREES:	1,192m ² / 25.0 =	48 TREES
REQUIRED SHRUBS:	1,192m ² / 12.5 =	95 SHRUBS

TREES 48 PROVIDED				
SYMBOL	BOTANICAL NAME	COMMON NAME	SPREAD (APPROX.)	NO.
DECIDUOUS TREES				
SC	PRUNUS VIRGINIANA "SCHUBERT"	SCHUBERT CHOKECHERRY	3.6m w 6m t	18
PP	PRUNUS PADUS	MAYDAY	7.6m w 9.1m t	18
CONIFEROUS TREES				
LL	LARIX LARICANA	TAMARACK	6m w 20m t	12

SHRUBS 98 PROVIDED				
SYMBOL	BOTANICAL NAME	COMMON NAME	SPREAD (APPROX.)	NO.
nd	PHYSOCARPUS OPULIFOLIUS 'MONLO'	NINEBARK DIABLO	2.4m w 2.4m t	36
sb	SHEPHERDIA ARGENTEA	SILVER BUFFALOBERRY	3m w 4m t	37
ej	JUNIPERUS COMMUNIS 'EFFUSA'	EFFUSA COMMON JUNIPER	1.5m w 1.0m t	13
mp	PINUS MUGO	SWISS MOUNTAIN DWARF MUGO PINE	1.5m w 1.0m t	12

All shrub beds to be covered with 50-100mm of 19mmØ washed rock or mulch over 5.39oz. weed barrier ultra woven fabric or Nilex 4538 non-woven geotextile fabric
 All plant material shall meet the horticultural standards of the most current edition of the "Guide Specifications for Nursery Stock", produced by the Canadian Nursery Trade Association.
 All plants shall be suitable for the specific application and hardy to this region and actual site conditions. The most current edition of the NWT Horticultural Guide shall be used as reference.

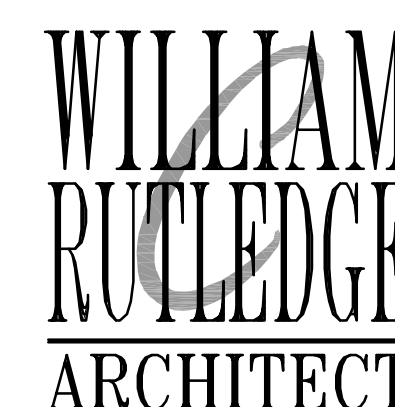
SITE PLAN - LANDSCAPING
 1:250

NOTE:
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CONSULTANT:

SEAL:

ISSUE:
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



REVISED FOR DEVELOPMENT PERMIT JUNE 16, 2022

PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.

DWG:
 A1-004
 JOB NO: 21-0400

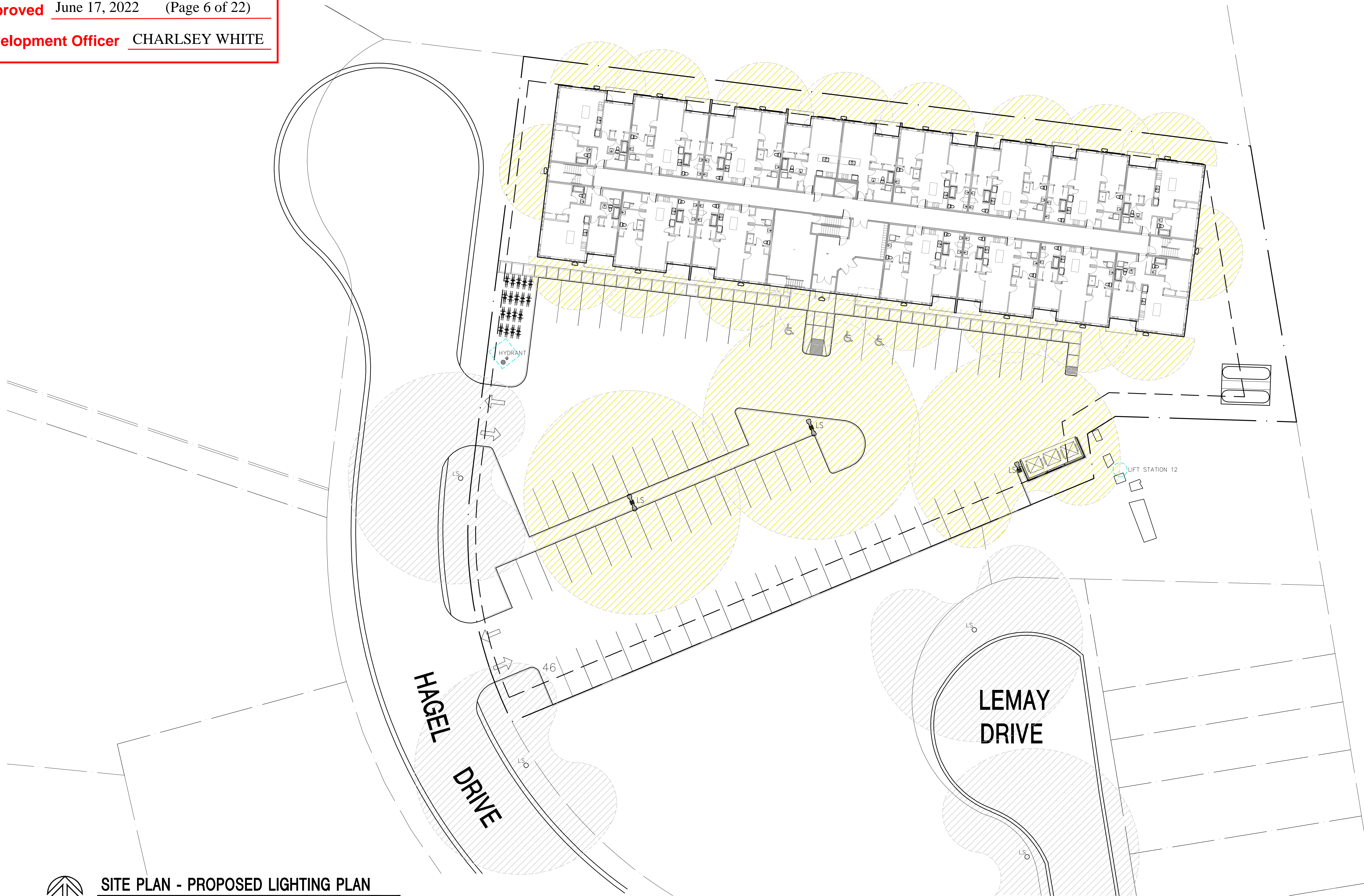
TEL: 1-780-454-3422 FAX: 1-780-482-2921

City of Yellowknife


Development Permit # PL-2022-0075

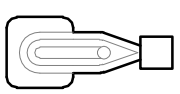
Approved June 17, 2022 (Page 6 of 22)

Development Officer CHARLSEY WHITE



LEGEND NEW SITE LIGHTING

 LITHONIA LIGHTING OLW 23 LED WALL LIGHT
 "NIGHTTIME FRIENDLY" WITH FULL CUTOFF ABOVE 90°
 2720 LUMENS AT 5000K
 DOWNCAST WALL LAMP
 SURFACE MOUNTED

 LITHONIA LIGHTING KAX1 AREA LIGHT
 "NIGHTTIME FRIENDLY" WITH FULL CUTOFF ABOVE 90°
 6200-22000 LUMENS AT 5000K
 DOWNCAST POLE MOUNTED AREA LAMP
 FOR SMALL TO MEDIUM SIZED PARKING LOTS



SITE PLAN - PROPOSED LIGHTING PLAN

1:250

REVISED FOR DEVELOPMENT PERMIT JUNE 7 2022

NOTE:
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SEAL:

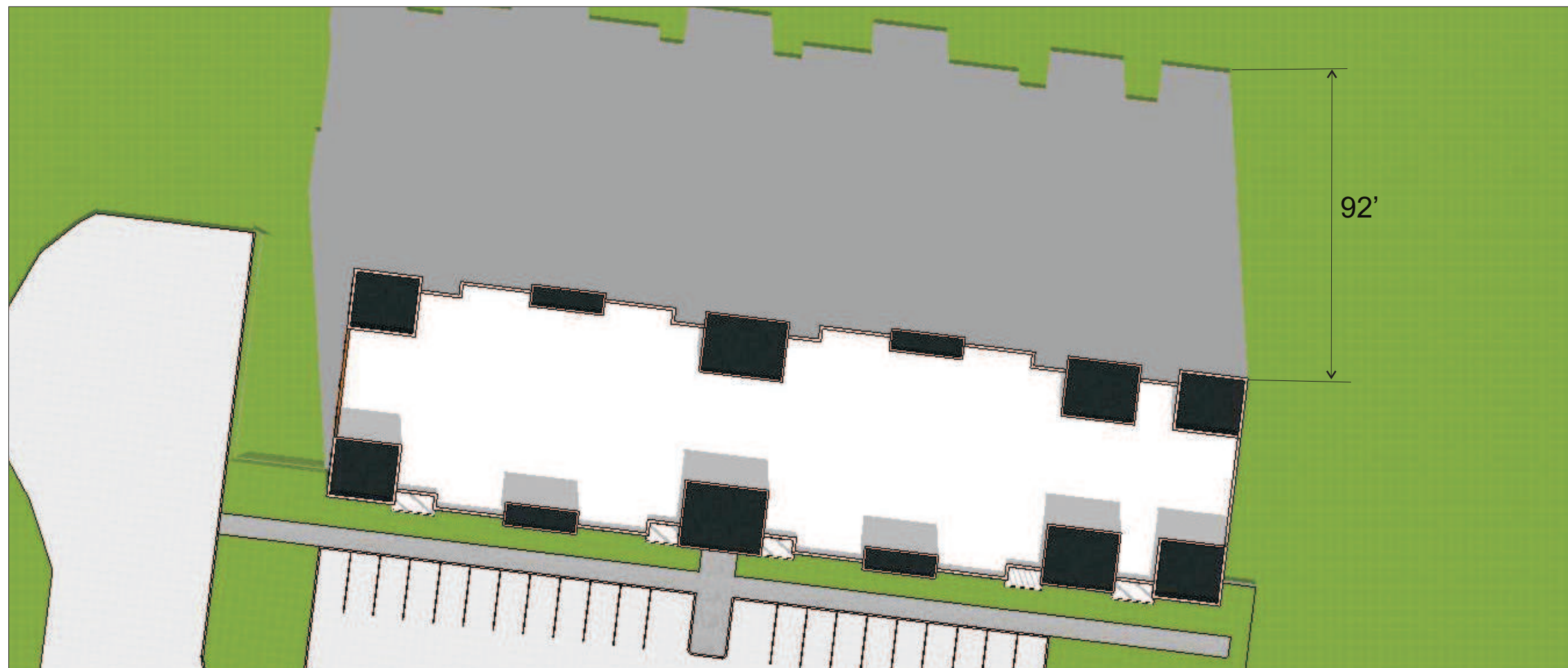
ISSUE:

**WILLIAM
 RUTLEDGE
 ARCHITECT**

PROJECT:
**THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.**

TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
A1-005
 JOB NO: 21-0400



BUILDING SHADOW - MARCH 21, 12 NOON

NOTE:

The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and on-site conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

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SEAL:

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ISSUE:

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#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM
RUTLEDGE
ARCHITECT**

PROJECT

**THE VIEW APARTMENTS
PHASE 5 - NIVEN LAKE
LOT A, BLOCK 307, PLAN 4441
YELLOWKNIFE N.W.T.**

TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:

A1-006

JOB NO. 21-0400

ISSUED FOR REVIEW MAY 30, 2022



BUILDING SHADOW - JUNE 21, 12 NOON

ISSUED FOR REVIEW MAY 30, 2022

NOTE:
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and on-site conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

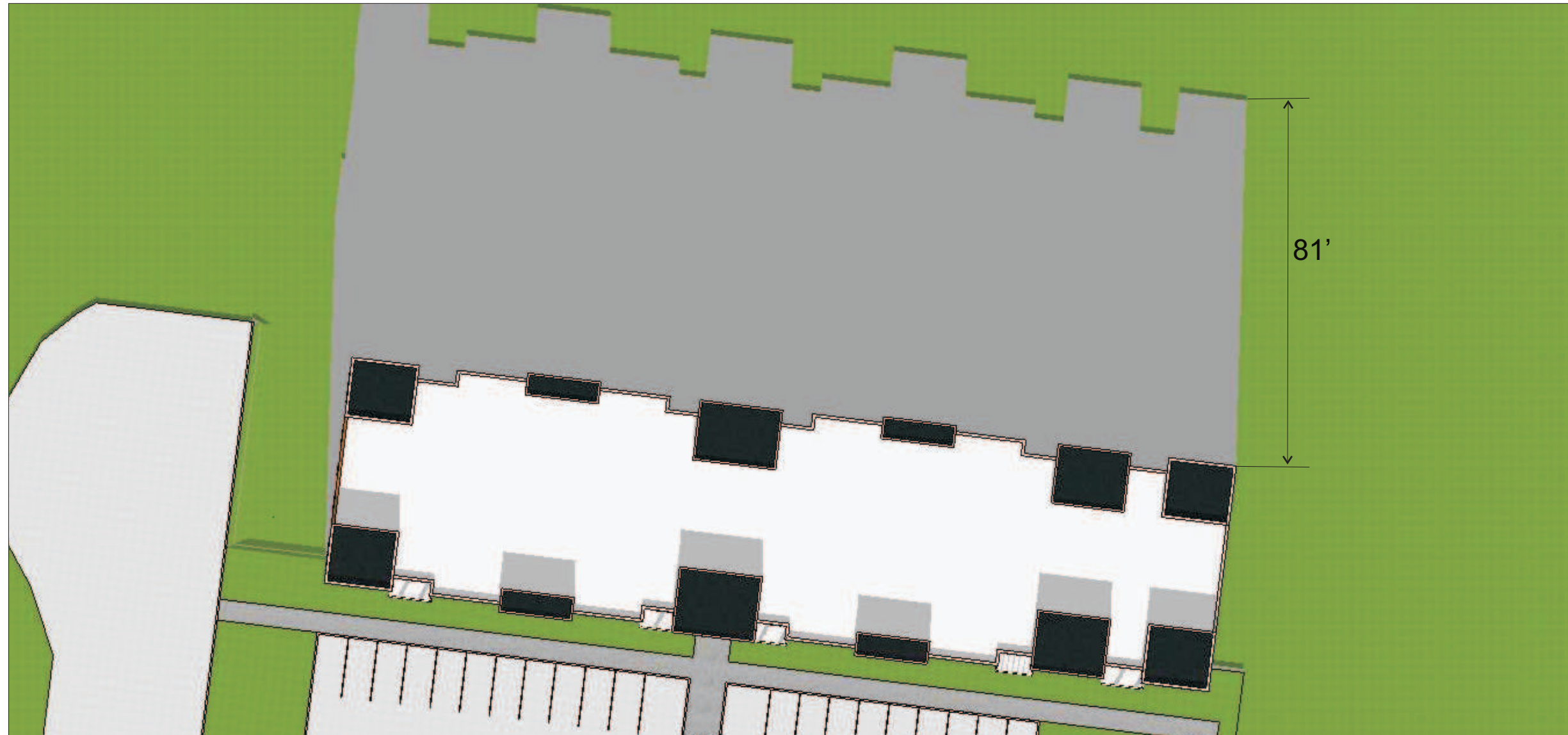
SEAL:

ISSUE:
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM
 RUTLEDGE
 ARCHITECT**

PROJECT
**THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.**
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
A1-007
 JOB NO. 21-0400



BUILDING SHADOW - SEPT. 21, 12 NOON

ISSUED FOR REVIEW MAY 30, 2022

NOTE:
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and on-site conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

SEAL:

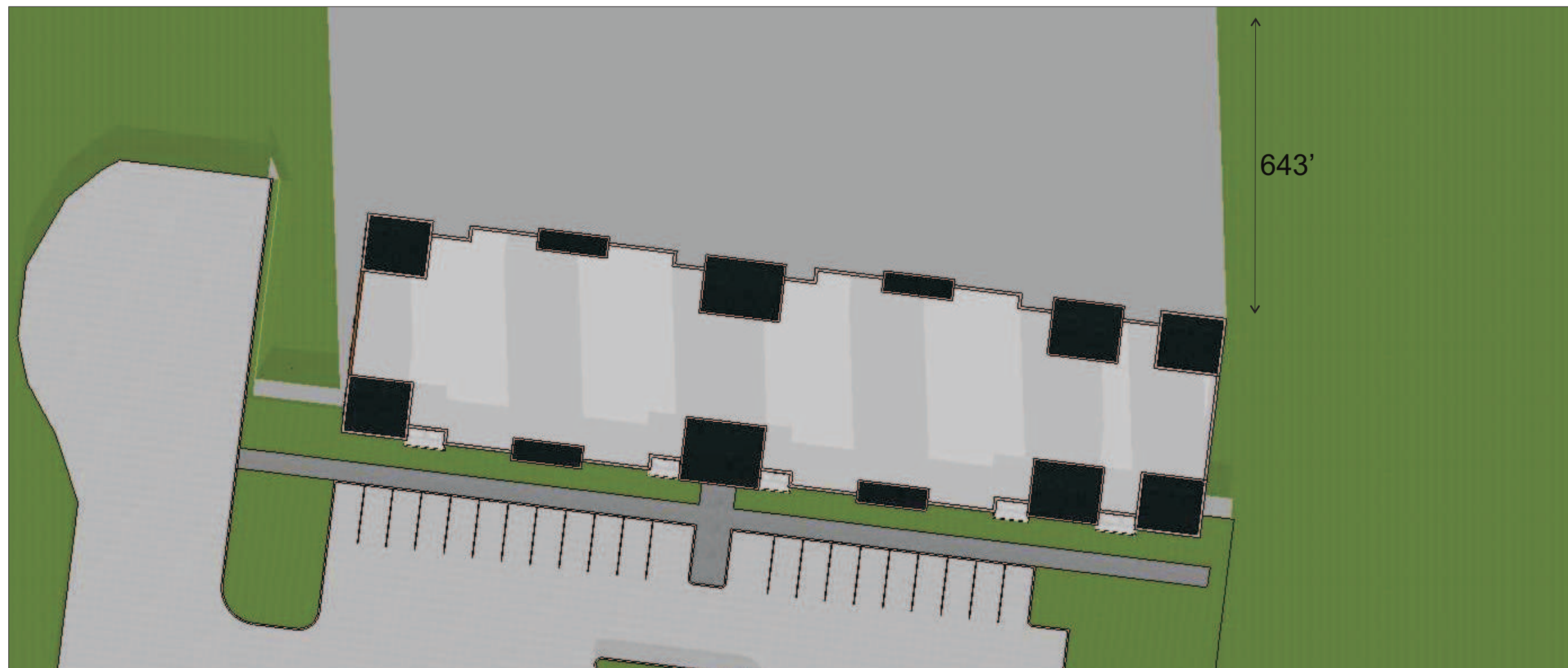
ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM
 RUTLEDGE
 ARCHITECT**

PROJECT
**THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.**
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
A1-008
 JOB NO. 21-0400



BUILDING SHADOW - DECEMBER 21, 12 NOON

NOTE:

The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and on-site conditions where discrepancies occur, he shall report same to the architect before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the architect and must be returned to him at completion of the work.

CONSULTANT:

Empty rectangular box for consultant signature.

SEAL:

Empty rectangular box for professional seal.

ISSUE:

Empty rectangular box for issue date and signature.

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM
RUTLEDGE
ARCHITECT**

PROJECT

**THE VIEW APARTMENTS
PHASE 5 - NIVEN LAKE
LOT A, BLOCK 307, PLAN 4441
YELLOWKNIFE N.W.T.**

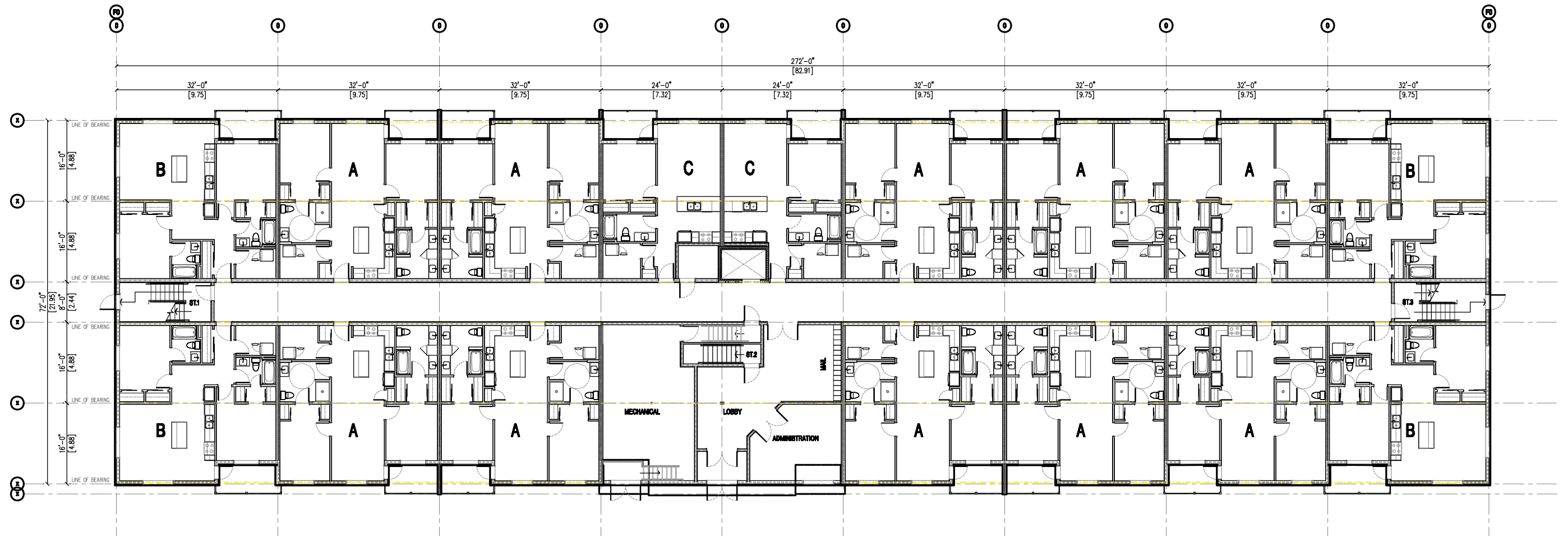
TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:

A1-009

JOB NO. 21-0400

ISSUED FOR REVIEW MAY 30, 2022



MAIN FLOOR PLAN (19,113 SQ.FT.)
 (1,775m²) 3/64"=1'-0"

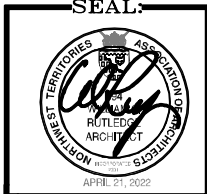
NOTE:

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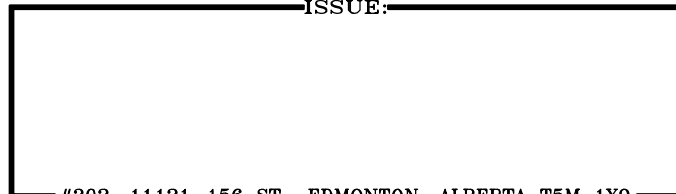
CONSULTANT:



SEAL:



ISSUE:



WILLIAM RUTLEDGE ARCHITECT

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

PROJECT:

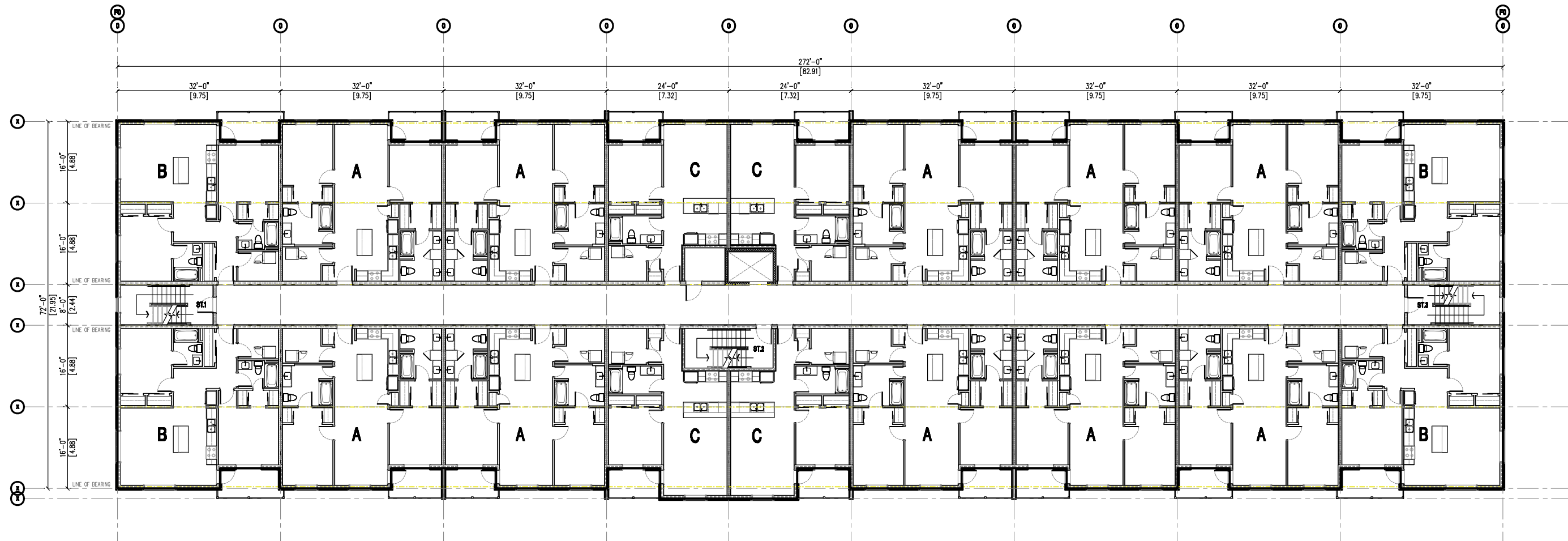
**THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.**

DWG:

A1-102
 JOB NO: 21-0400

TEL: 1-780-454-3422 FAX: 1-780-482-2921

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

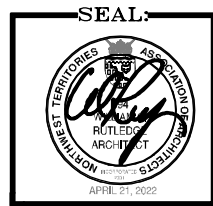


SECOND FLOOR PLAN (19,088 SQ.FT.)
(1,773m²) 3/64"=1'-0"

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

NOTE:
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and on-site conditions where discrepancies occur, he shall report same to the designer before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the designer and must be returned to him at completion of the work.

CONSULTANT:



ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



PROJECT:

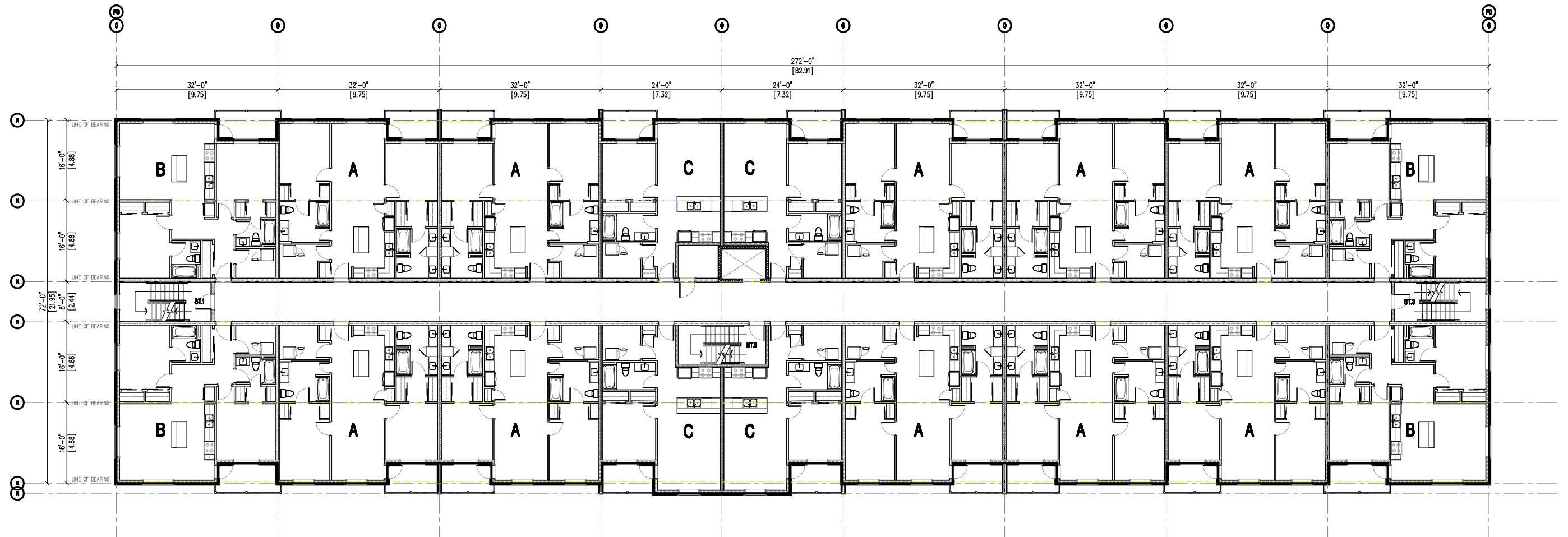
**THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.**

TEL: 1-780-454-3422 **FAX:** 1-780-482-2921

DWG:

A1-103

JOB NO: 21-0400



THIRD FLOOR PLAN (19,088 SQ.FT.)
(1,773m²) 3/64"=1'-0"

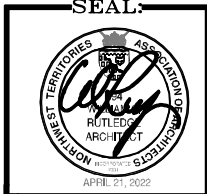
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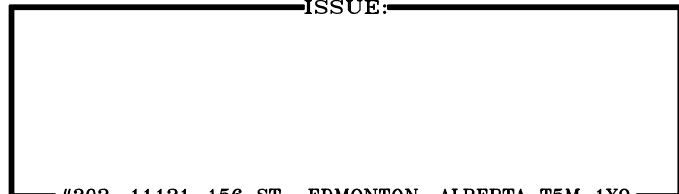
CONSULTANT:



SEAL:



ISSUE:



#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

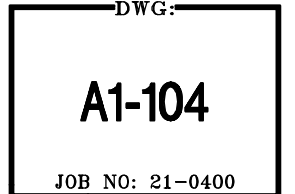
PROJECT:



THE VIEW APARTMENTS
PHASE 5 - NIVEN LAKE
LOT A, BLOCK 307, PLAN 4441
YELLOWKNIFE N.W.T.

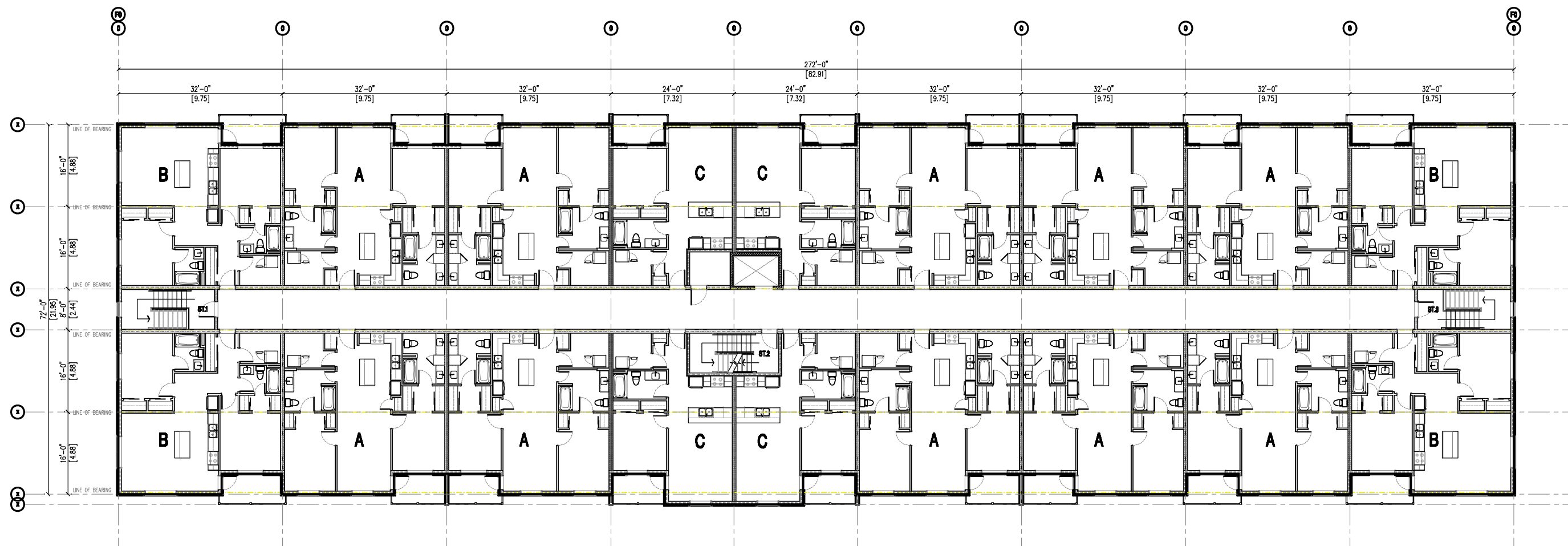
TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:



A1-104

JOB NO: 21-0400

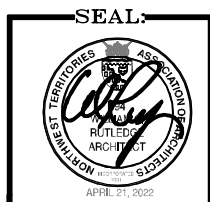


FOURTH FLOOR PLAN (19,088 SQ.FT.)
 (1,773m²) 3/64"=1'-0"

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

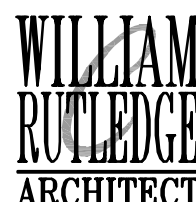
NOTE:
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings. Specifications and on-site conditions where discrepancies occur, he shall report same to the designer before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the designer and must be returned to him at completion of the work.

CONSULTANT:



ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



PROJECT:

THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.

TEL: 1-780-454-3422 **FAX:** 1-780-482-2921

DWG:

A1-105

JOB NO: 21-0400

WALL LEGEND

EXTERIOR
INTERIOR

PER YELLOWKNIFE BUILDING BYLAW
 MINIMUM RSI = 5.28 (R_{EFF} 30.00)

W1 TYPICAL EXTERIOR WALL - (R_{EFF} 30.43)
 EXTERIOR FINISH: CANEXEL PREFINISHED EXTERIOR SIDING
 1"x4" VERTICAL STRAPPING (RAINSCREEN)
 TYVEK OR EQUIVALENT AIR BARRIER
 7/16" OSB SHEATHING
 2"x2" HORIZONTAL STRAPPING @ 24" OC
 2x8 SPF #2 WOOD FRAMING @ 24" OC
 171.2mm 2LB MEDIUM DENSITY SPRAY FOAM
 5/8" TYPE X GYPSUM BOARD, FINISHED

SUITE
SUITE

W2 SUITE DEMISING WALL
 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x4 WOOD FRAMED WALL @ 24" O.C.
 1" AIR SPACE WITH 1/2" DONNA CONNA BOARD
 2x4 WOOD FRAMED WALL @ 24" O.C.
 5/8" RESILIENT CHANNEL
 5/8" TYPE X GYPSUM BOARD, FINISHED

CORRIDOR
SUITE

W3 CORRIDOR / EXIT WALL
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x8 COMMON PLATE TOP AND BOTTOM
 C/W 2x4 SPF#2 WOOD FRAMED WALL @ 12" O.C. STAGGERED
 6" SOUND BATT INSULATION
 5/8" TYPE X GYPSUM BOARD, FINISHED

SUITE
2 X 6
SUITE

W4 INTERIOR 2x6 PLUMBING / SUPPORT WALL
 5/8" GYPSUM BOARD, FINISHED
 2x6 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED

SUITE
SUITE

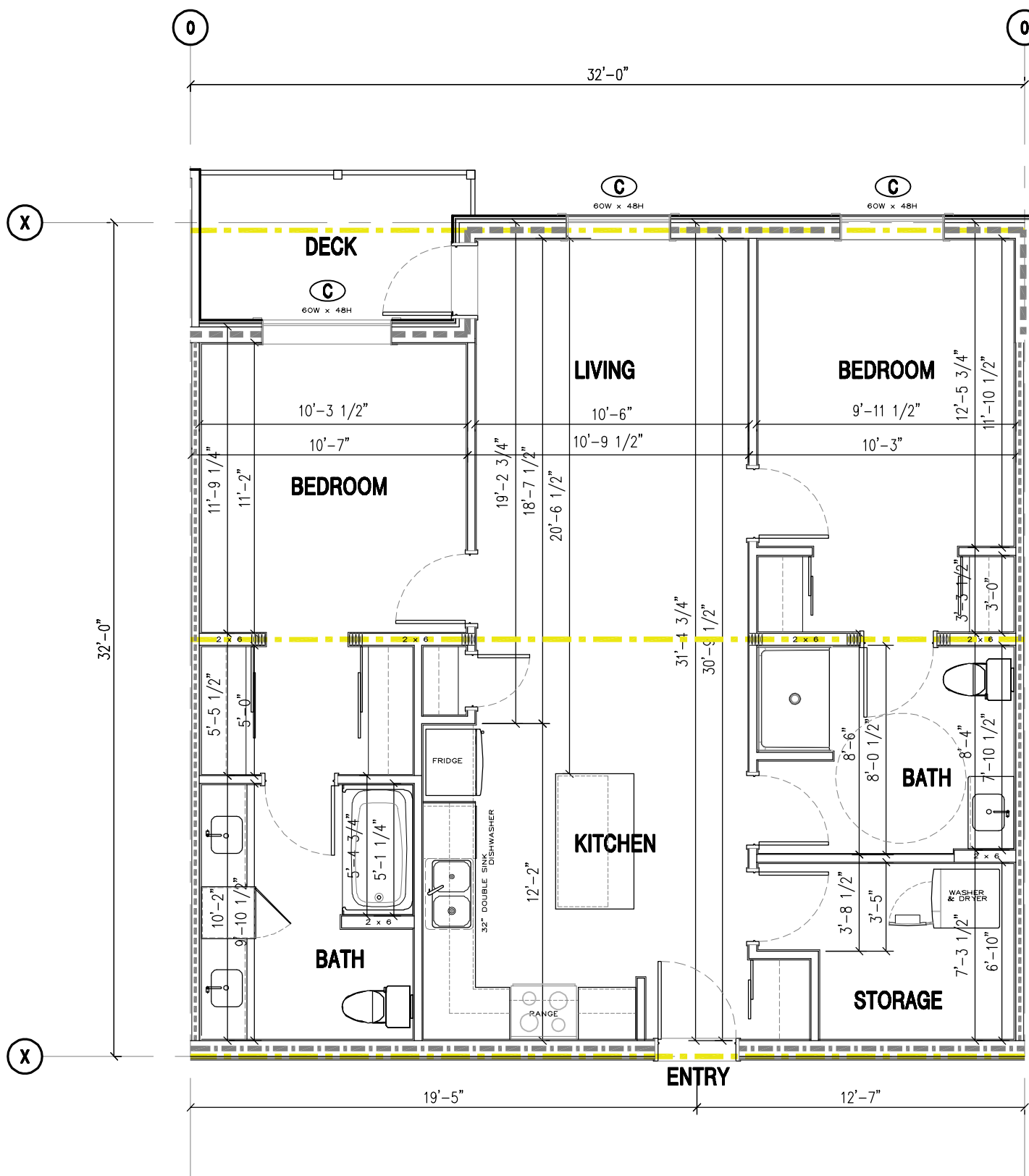
W5 TYPICAL INTERIOR 2x4 WALL
 5/8" GYPSUM BOARD, FINISHED
 2x4 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED

TONE INDICATES BULKHEAD ABOVE

DIMENSION NOTE

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ILLUSTRATED ON THIS SHEET READ TO EITHER GRIDLINES OR FACE OF FRAMING ONLY.

UNIT A PLAN (943 SQ.FT.) 40 UNITS
 1,007 SQUARE FEET WITH BALCONY 3/16"=1'-0"



ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

NOTE:
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CONSULTANT:

SEAL:

ISSUE:
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

WILLIAM RUTLEDGE ARCHITECT

PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
 A1-114
 JOB NO: 21-0400

WALL LEGEND

- W1** TYPICAL EXTERIOR WALL - (R^{REF} 30.43)
 EXTERIOR FINISH: CANEXEL PREFINISHED EXTERIOR SIDING
 1"x4" VERTICAL STRAPPING (RAINSCREEN)
 TYVEK OR EQUIVALENT AIR BARRIER
 7/16" OSB SHEATHING
 2"x2" HORIZONTAL STRAPPING @ 24" OC
 2x8 SPF #2 WOOD FRAMING @ 24" OC
 171.2mm 2LB MEDIUM DENSITY SPRAY FOAM
 5/8" TYPE X GYPSUM BOARD, FINISHED
- PER YELLOWKNIFE BUILDING BYLAW
 MINIMUM RSI = 5.28 (R^{REF} 30.00)
- W2** SUITE DEMISING WALL
 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x4 WOOD FRAMED WALL @ 24" O.C.
 1" AIR SPACE WITH 1/2" DONNA CONNA BOARD
 2x4 WOOD FRAMED WALL @ 24" O.C.
 5/8" RESILIENT CHANNEL
 5/8" TYPE X GYPSUM BOARD, FINISHED
- W3** CORRIDOR / EXIT WALL
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x8 COMMON PLATE TOP AND BOTTOM
 C/W 2x4 SPF#2 WOOD FRAMED WALL @ 12" O.C. STAGGERED
 6" SOUND BATT INSULATION
 5/8" TYPE X GYPSUM BOARD, FINISHED
- W4** INTERIOR 2x6 PLUMBING / SUPPORT WALL
 5/8" GYPSUM BOARD, FINISHED
 2x6 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED
- W5** TYPICAL INTERIOR 2x4 WALL
 5/8" GYPSUM BOARD, FINISHED
 2x4 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED
- TONE INDICATES BULKHEAD ABOVE

DIMENSION NOTE

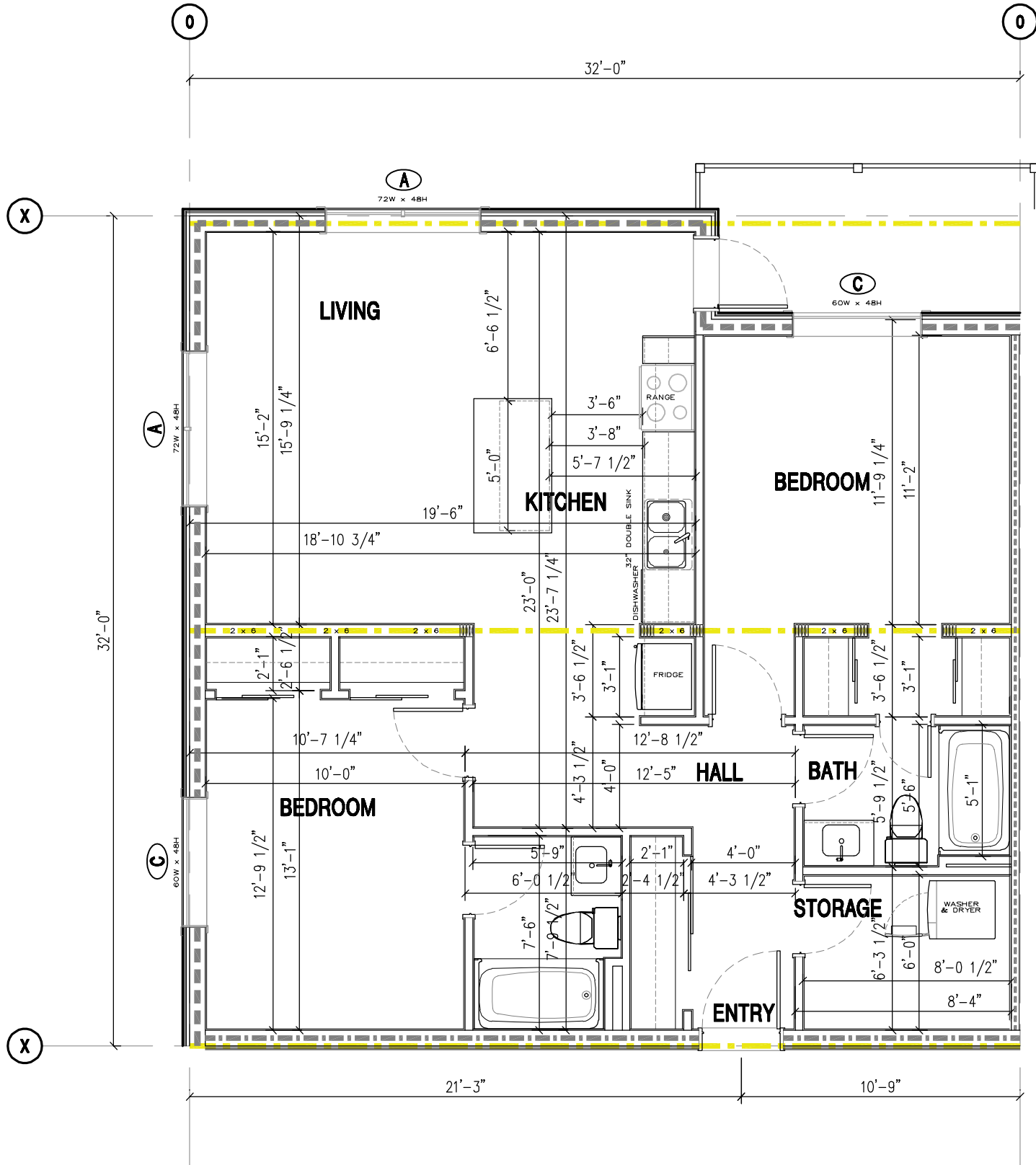
UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ILLUSTRATED ON THIS SHEET READ TO EITHER GRIDLINES OR FACE OF FRAMING ONLY.

UNIT B PLAN (918 SQ.FT.)

16 UNITS

993 SQUARE FEET WITH BALCONY

3/16" = 1'-0"



ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

NOTE:
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CONSULTANT:

SEAL:

 WILLIAM RUTLEDGE ARCHITECT
 APRIL 21, 2022

ISSUE:
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

WILLIAM RUTLEDGE ARCHITECT

PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
 A1-115
 JOB NO: 21-0400

WALL LEGEND

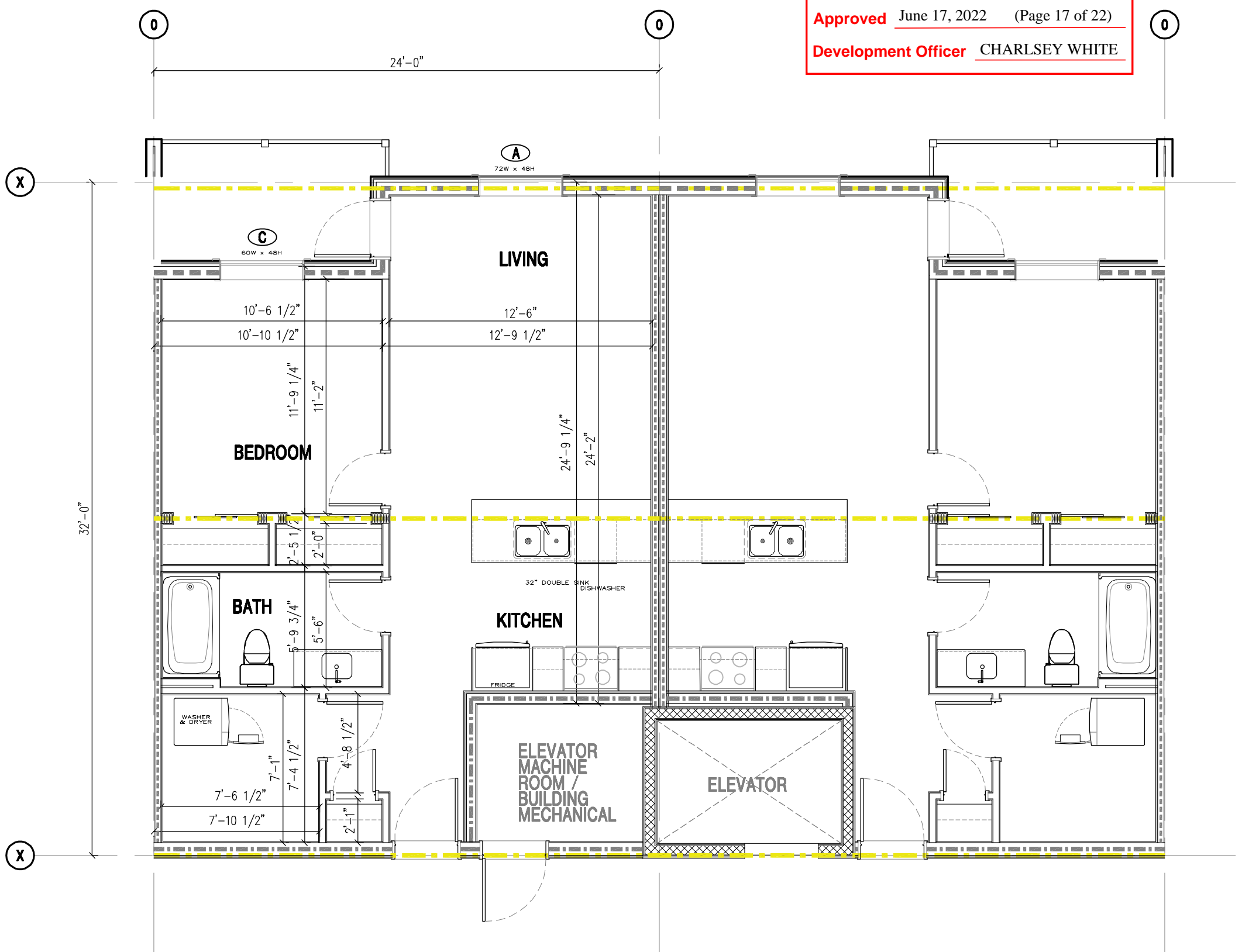
- EXTERIOR**
W1 TYPICAL EXTERIOR WALL - (REF 30.43)
 EXTERIOR FINISH: CANEXEL PREFINISHED EXTERIOR SIDING
 1"x4" VERTICAL STRAPPING (RAINSCREEN)
 TYVEK OR EQUIVALENT AIR BARRIER
 7/16" OSB SHEATHING
 2"x2" HORIZONTAL STRAPPING @ 24" OC
 2x8 SPF #2 WOOD FRAMING @ 24" OC
 171.2mm 2LB MEDIUM DENSITY SPRAY FOAM
 5/8" TYPE X GYPSUM BOARD, FINISHED
 PER YELLOWKNIFE BUILDING BYLAW
 MINIMUM RSI = 5.28 (REF 30.00)
- SUITE**
W2 SUITE DEMISING WALL
 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x4 WOOD FRAMED WALL @ 24" O.C.
 1" AIR SPACE WITH 1/2" DONNA CONNA BOARD
 2x4 WOOD FRAMED WALL @ 24" O.C.
 5/8" RESILIENT CHANNEL
 5/8" TYPE X GYPSUM BOARD, FINISHED
- CORRIDOR**
W3 CORRIDOR / EXIT WALL
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x8 COMMON PLATE TOP AND BOTTOM
 C/W 2x4 SPF#2 WOOD FRAMED WALL @ 12" O.C. STAGGERED
 6" SOUND BATT INSULATION
 5/8" TYPE X GYPSUM BOARD, FINISHED
- SUITE**
W4 INTERIOR 2x6 PLUMBING / SUPPORT WALL
 5/8" GYPSUM BOARD, FINISHED
 2x6 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED
- SUITE**
W5 TYPICAL INTERIOR 2x4 WALL
 5/8" GYPSUM BOARD, FINISHED
 2x4 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED

TONE INDICATES BULKHEAD ABOVE

DIMENSION NOTE

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UNIT C PLAN REAR (587 SQ.FT.) 8 UNITS
 646 SQUARE FEET WITH BALCONY 3/16"=1'-0"



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CONSULTANT:

SEAL:

ISSUE:
 #202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

WILLIAM RUTLEDGE ARCHITECT

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022
PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

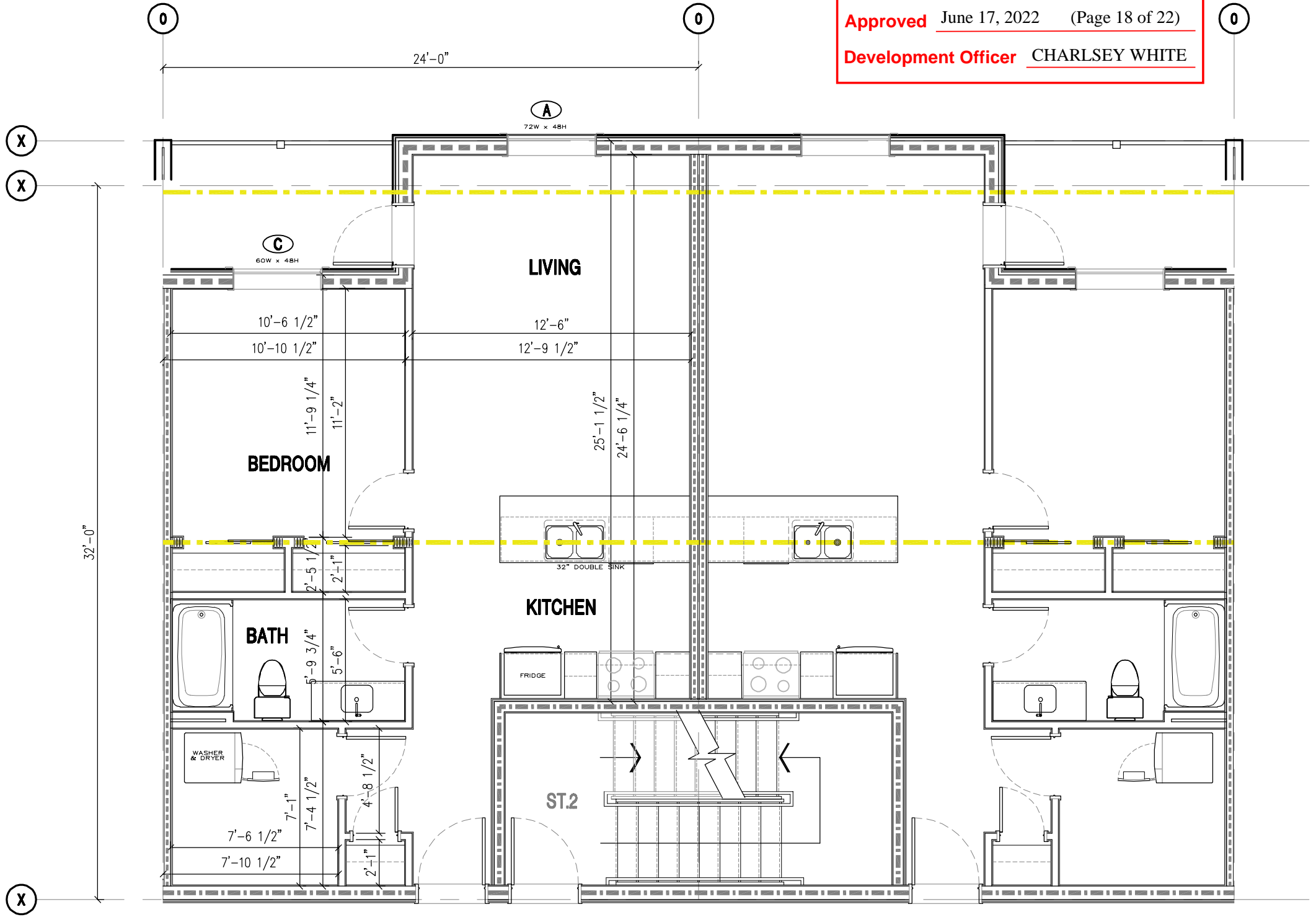
DWG:
A1-116
 JOB NO: 21-0400

WALL LEGEND

- W1** TYPICAL EXTERIOR WALL - (REF 30.43)
 EXTERIOR FINISH: CANEXEL PREFINISHED EXTERIOR SIDING
 1"x4" VERTICAL STRAPPING (RAINSCREEN)
 TYVEK OR EQUIVALENT AIR BARRIER
 7/16" OSB SHEATHING
 2"x2" HORIZONTAL STRAPPING @ 24" OC
 2x8 SPF #2 WOOD FRAMING @ 24" OC
 171.2mm 2LB MEDIUM DENSITY SPRAY FOAM
 5/8" TYPE X GYPSUM BOARD, FINISHED
 PER YELLOWKNIFE BUILDING BYLAW
 MINIMUM RSI = 5.28 (REF 30.00)
- W2** SUITE DEMISING WALL
 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x4 WOOD FRAMED WALL @ 24" O.C.
 1" AIR SPACE WITH 1/2" DONNA CONNA BOARD
 2x4 WOOD FRAMED WALL @ 24" O.C.
 5/8" RESILIENT CHANNEL
 5/8" TYPE X GYPSUM BOARD, FINISHED
- W3** CORRIDOR / EXIT WALL
 2 LAYERS 5/8" TYPE X GYPSUM BOARD, FINISHED
 5/8" RESILIENT CHANNEL
 2x8 COMMON PLATE TOP AND BOTTOM
 C/W 2X4 SPF#2 WOOD FRAMED WALL @ 12" O.C. STAGGERED
 6" SOUND BATT INSULATION
 5/8" TYPE X GYPSUM BOARD, FINISHED
- W4** INTERIOR 2x6 PLUMBING / SUPPORT WALL
 5/8" GYPSUM BOARD, FINISHED
 2x6 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED
- W5** TYPICAL INTERIOR 2x4 WALL
 5/8" GYPSUM BOARD, FINISHED
 2x4 WOOD FRAMED WALL @ 16" O.C.
 5/8" GYPSUM BOARD, FINISHED
- TONE INDICATES BULKHEAD ABOVE

DIMENSION NOTE

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 DIMENSIONS ILLUSTRATED ON THIS
 SHEET READ TO EITHER GRIDLINES
 OR FACE OF FRAMING ONLY.

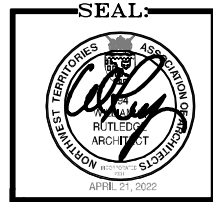


UNIT C PLAN FRONT (597 SQ.FT.) 6 UNITS
 655 SQUARE FEET WITH BALCONY 3/16"=1'-0"

ISSUED FOR DEVELOPMENT PERMIT APRIL 21, 2022

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CONSULTANT:



ISSUE:

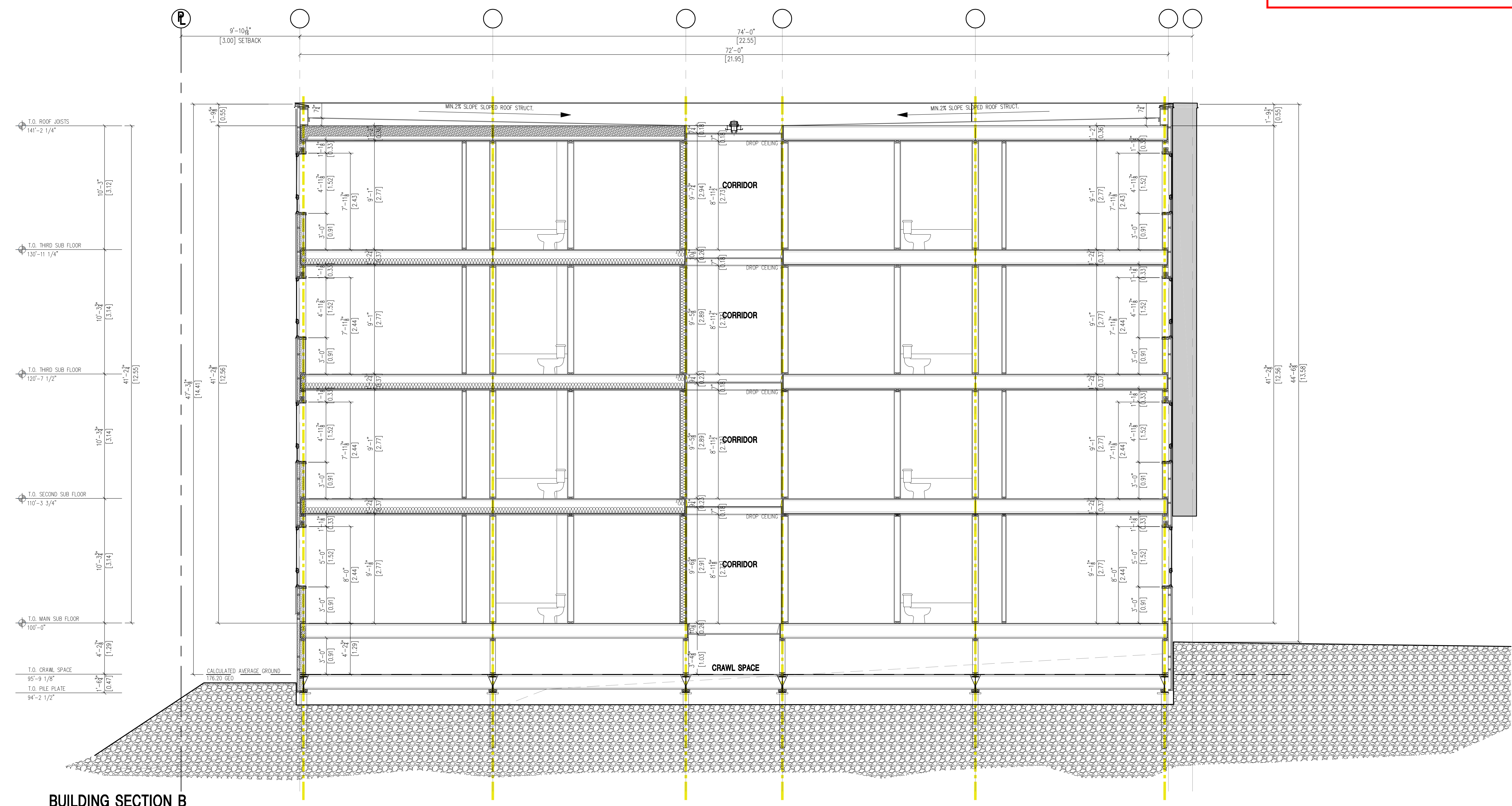
#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.

TEL: 1-780-454-3422 **FAX:** 1-780-482-2921

DWG:
A1-117
 JOB NO: 21-0400



BUILDING SECTION B
 1/4"=1'-0"

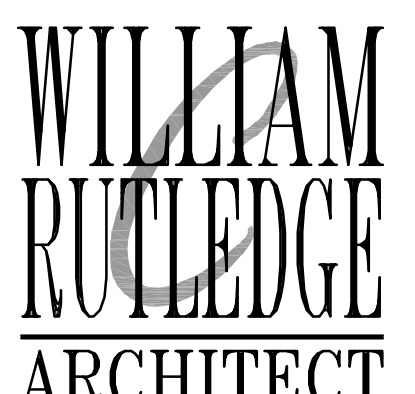
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CONSULTANT:



ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



PROJECT:
 THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.

TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
 A1-131

JOB NO: 21-0400

REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022



BUILDING SECTION B

1/8" = 1'-0"

NOTE:
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CONSULTANT:

SEAL:

ISSUE:

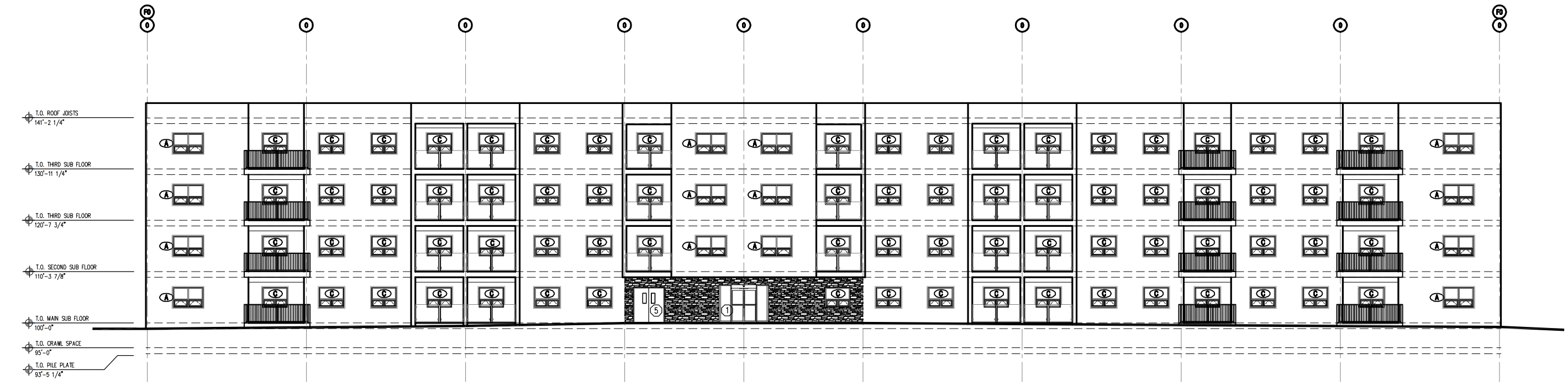


#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

REVISED FOR DEVELOPMENT PERMIT MAY 30, 2022
 PROJECT:
**THE VIEW APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.**

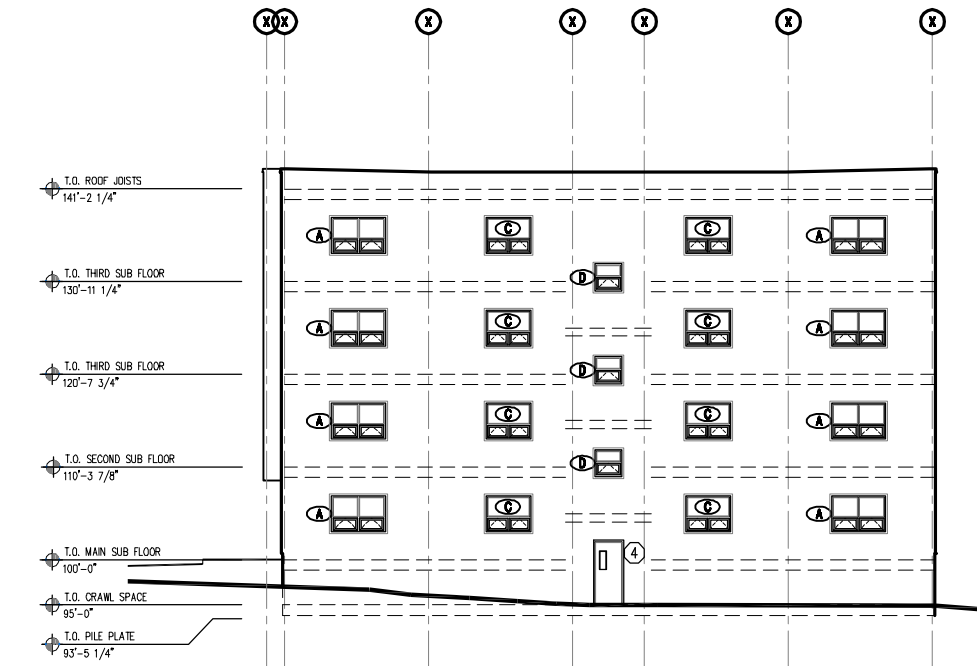
TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
A1-131
 JOB NO: 21-0400



EAST ELEVATION

3/64"=1'-0"



NORTH ELEVATION

3/64"=1'-0"

City of Yellowknife
 Development Permit # PL-2022-0075
 Approved June 17, 2022 (Page 21 of 22)
 Development Officer CHARLSEY WHITE

REVISED FOR DEVELOPMENT PERMIT MAY 30, 2022

NOTE:
 The contractor shall check and verify all dimensions and measurements of materials shown on this drawing and with other drawings, specifications, and on-site conditions. Where discrepancies occur, he shall report same to the designer before proceeding with any portion of the work or be responsible for such discrepancies. All drawings and prints thereof are the property of the designer and must be returned to him at completion of the work.

CONSULTANT:

SEAL:

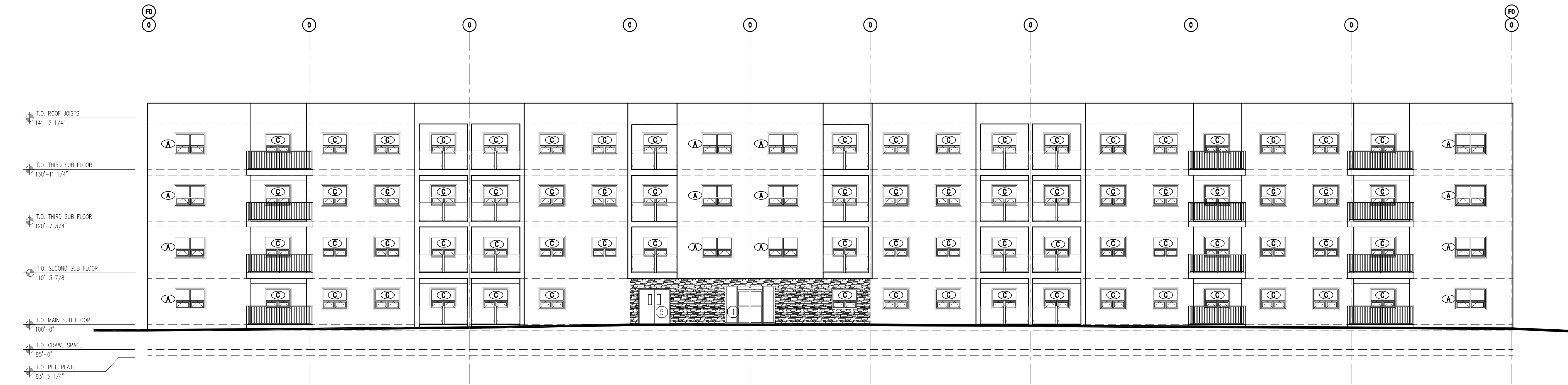
ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9

**WILLIAM
 RUTLEDGE
 ARCHITECT**

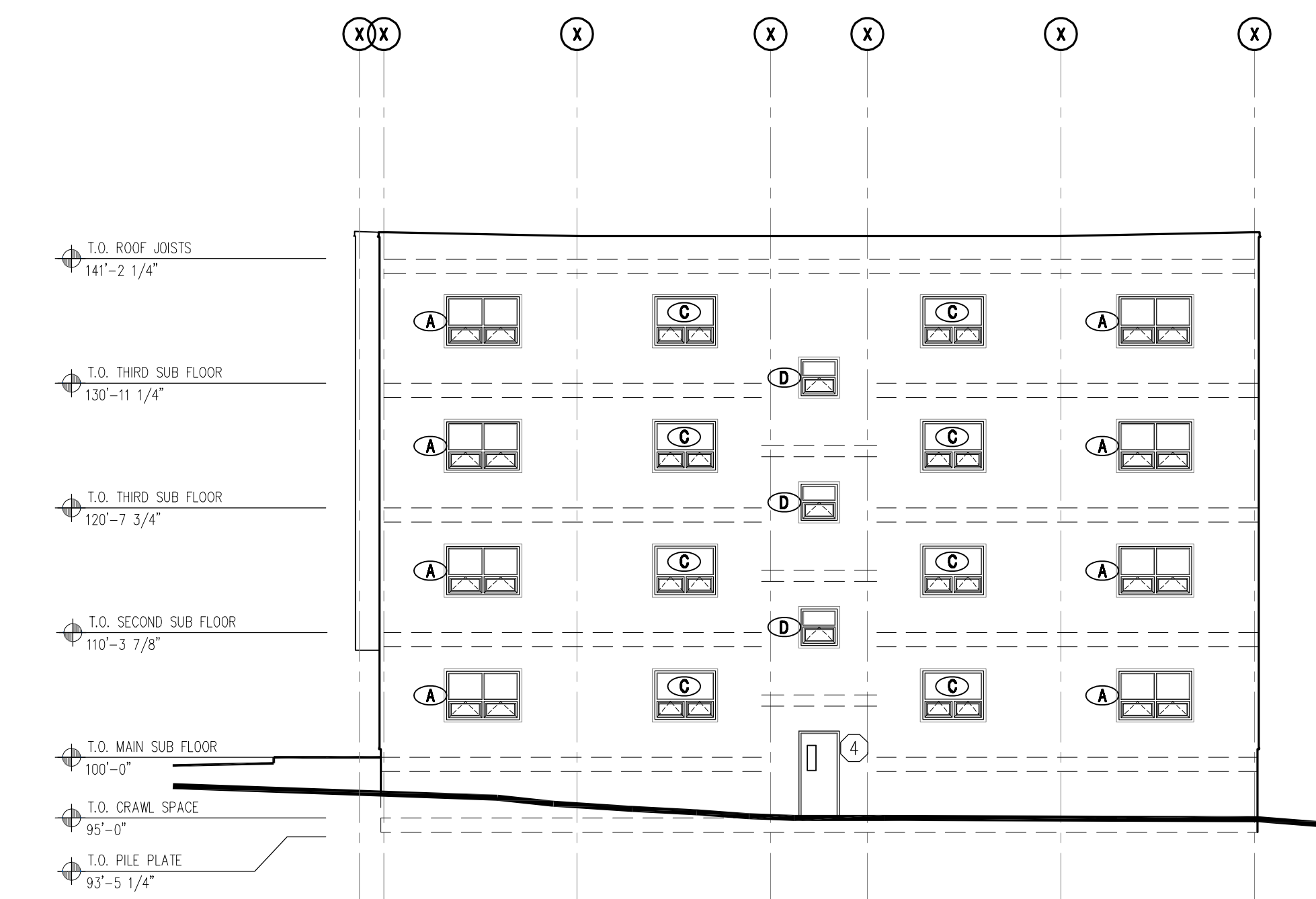
PROJECT:
**NIVEN LAKE APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.**
 TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
A1-120
 JOB NO: 21-0400



SOUTH ELEVATION

3/32"=1'-0"



EAST ELEVATION

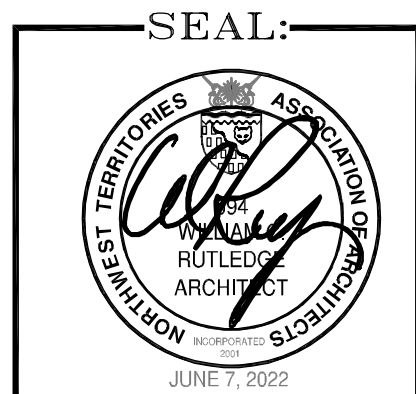
3/32"=1'-0"

City of Yellowknife
 Development Permit # PL-2022-0075
 Approved June 17, 2022 (Page 22 of 22)
 Development Officer CHARLSEY WHITE

REVISED FOR DEVELOPMENT PERMIT JUNE 7, 2022

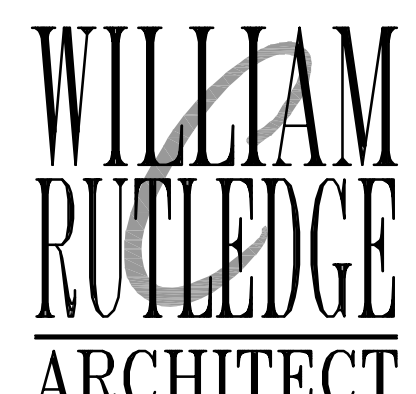
NOTE:
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CONSULTANT:



ISSUE:

#202, 11121-156 ST., EDMONTON, ALBERTA T5M 1X9



PROJECT:
 NIVEN LAKE APARTMENTS
 PHASE 5 - NIVEN LAKE
 LOT A, BLOCK 307, PLAN 4441
 YELLOWKNIFE N.W.T.

TEL: 1-780-454-3422 FAX: 1-780-482-2921

DWG:
A1-121
 JOB NO: 21-0400

- NOT A PLAN OF SURVEY. REFER TO REGISTERED SURVEY PLAN FOR ACCURATE LOT DIMENSIONS.
- PARCEL A DEVELOPER RESPONSIBLE TO REMOVE EXISTING STORM WATER INFRASTRUCTURE AS INDICATED. PARCEL A DEVELOPER TO ENGAGE A PROFESSIONAL ENGINEER FOR OVERSIGHT AS NECESSARY. PARCEL A DEVELOPER TO SUBMIT RECORD DRAWINGS OF STORM WATER MODIFICATION TO CITY.

Revision	By	Appd	YYYY.MM.DD
0	INITIAL SUBMISSION	OH: KH	2022.04.07
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File Name: 03242c-102.dwg

Permit/Seal

PERMIT TO PRACTICE
STANTEC ARCHITECTURE LTD.

Signature:

Date: April 7, 2022

PERMIT NUMBER: P 800
NT/NU Association of Professional Engineers and Geoscientists

4460 52nd Street, Yellowknife, NT X1A 2S2

Client/Project Logo



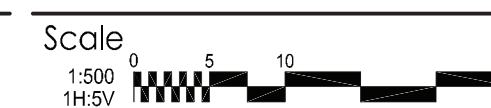
Client/Project
CITY OF YELLOWKNIFE

NIVEN PHASE V - LOTS 11 & 12 BLOCK 307 & LOT 116 BLOCK 308
YELLOWKNIFE, NT

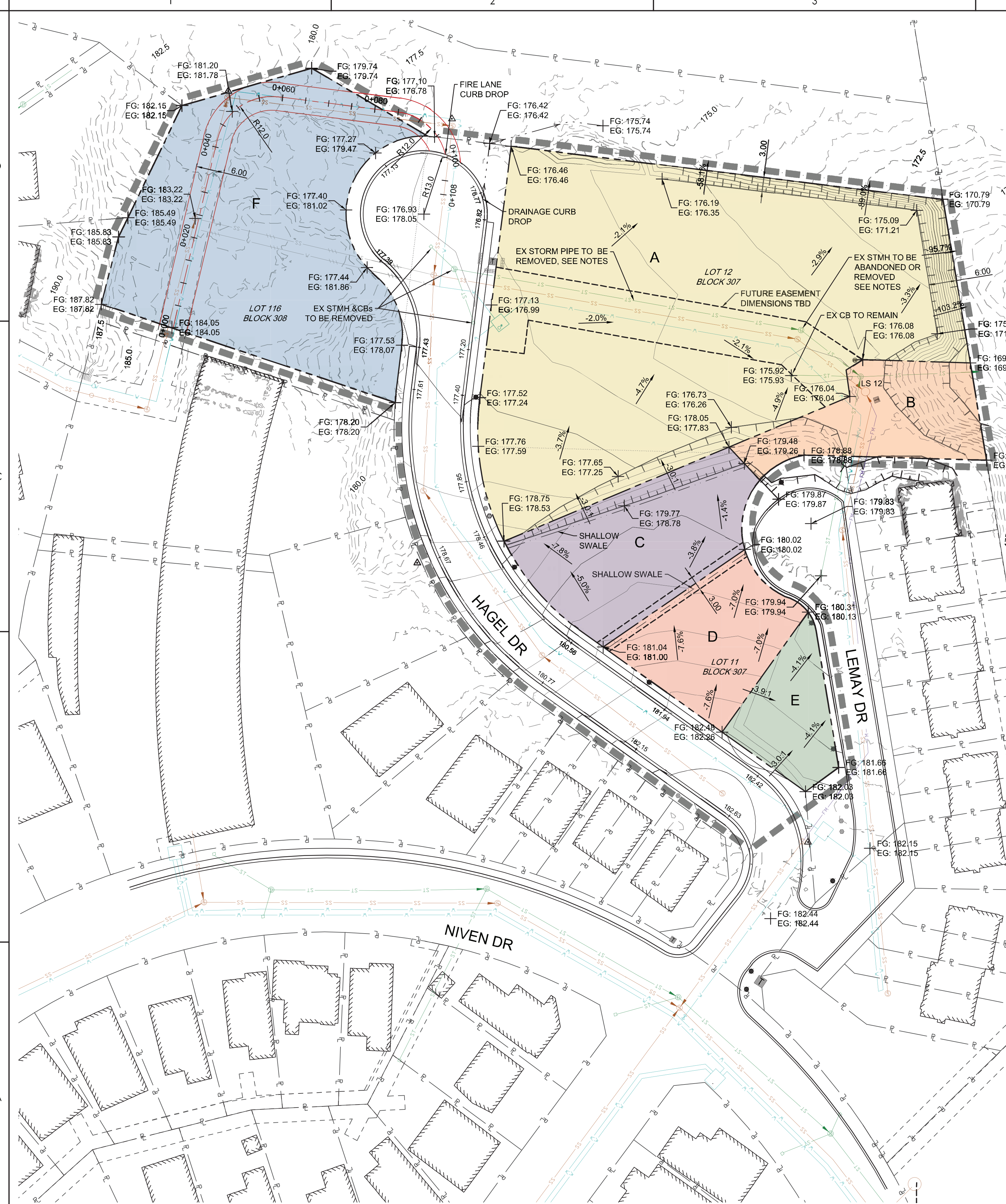
Title
GENERAL SUBDIVISION GRADING PLAN

Project No.
144903242

Revision Sheet
C/0 2 of 2

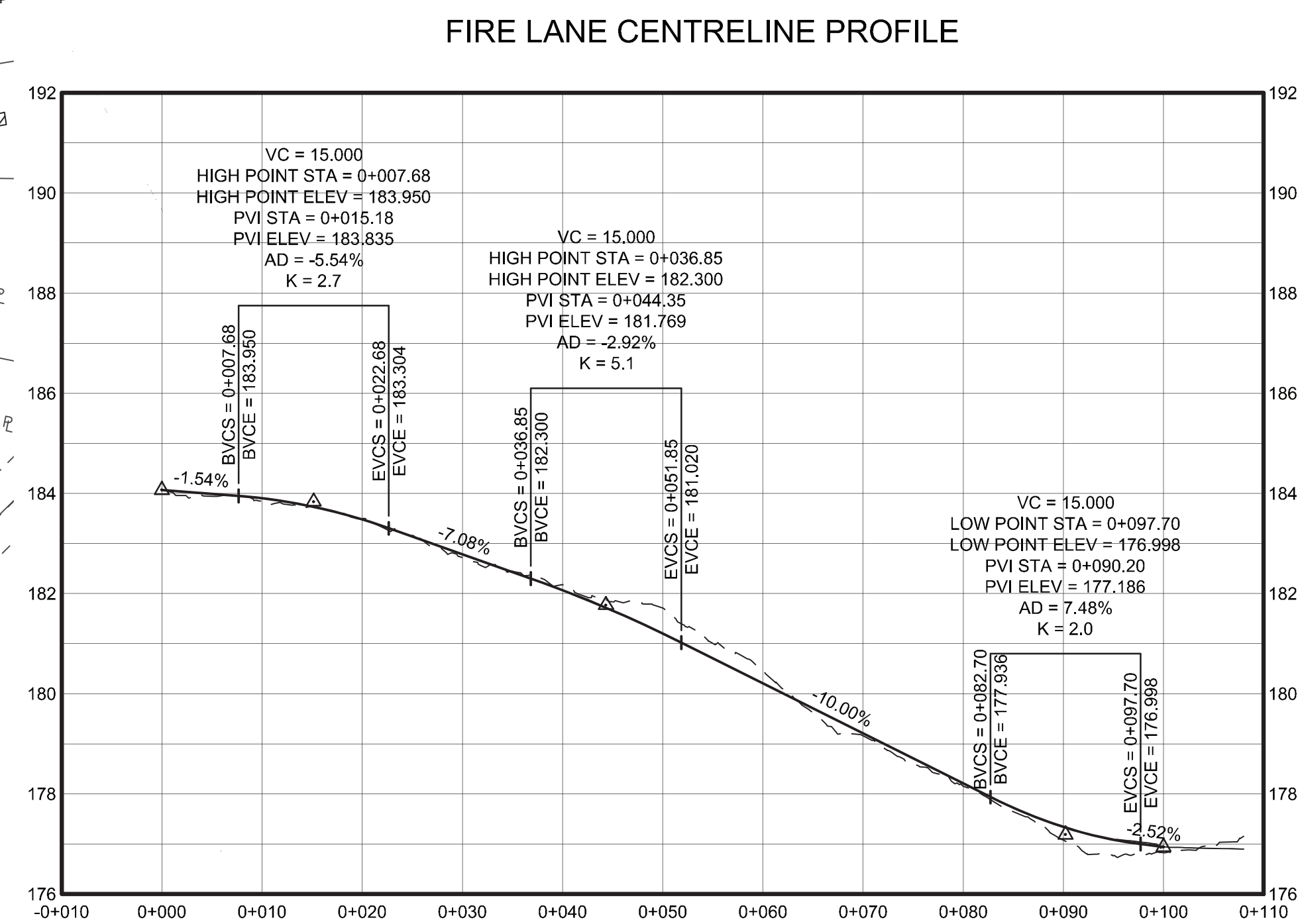


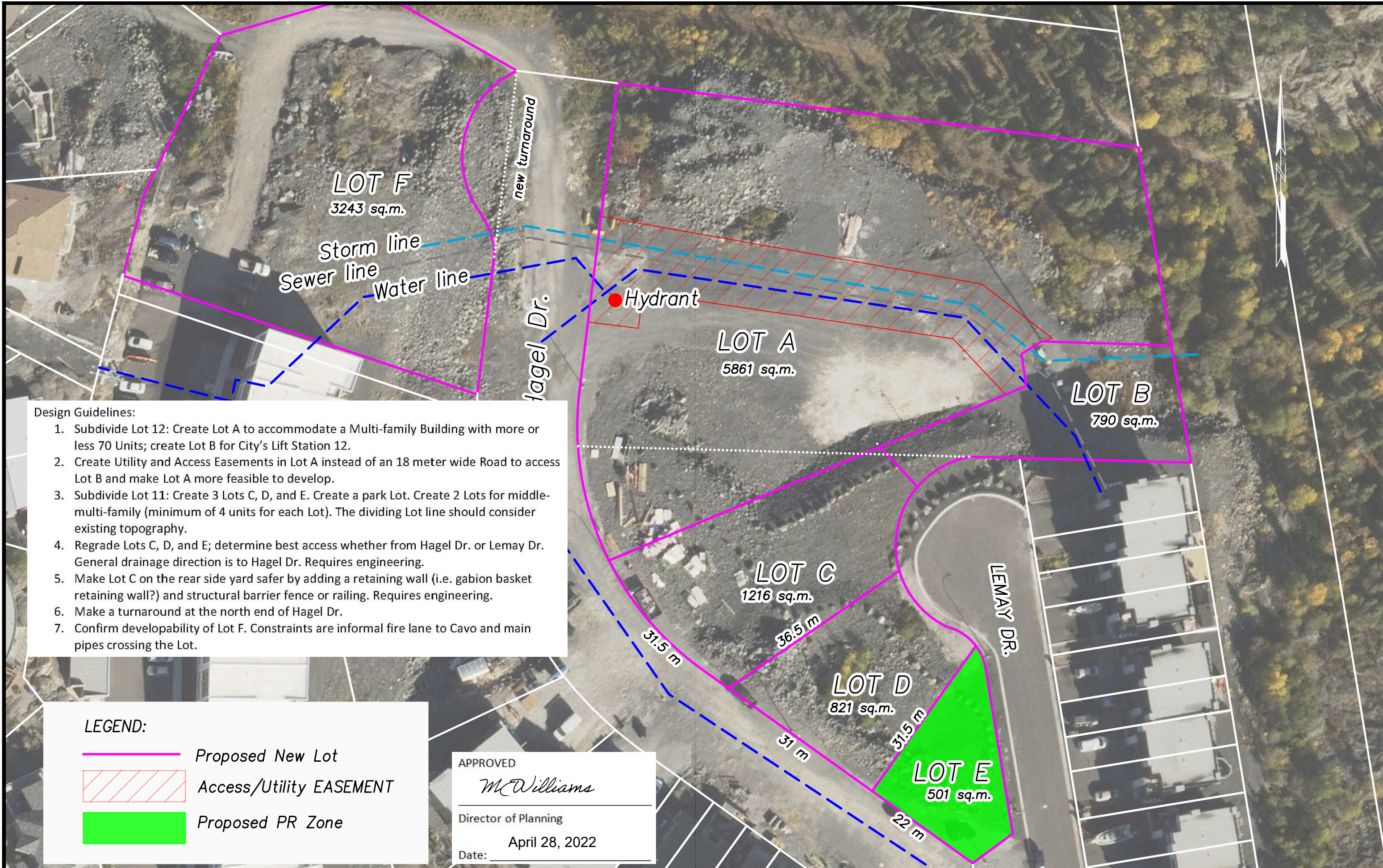
Drawing No.
C-102



LEGEND




	EXISTING	PROPOSED	TO BE REMOVED
PROPERTY LINE			
EASEMENT/RIGHT-OF-WAY			
FIREFIGHTING ACCESS ROUTE			
CURB & GUTTER			
DRAINAGE ARROW			
FLOW LINE			
TOP OF SLOPE			
BOTTOM OF SLOPE			
MAJOR CONTOUR			
MINOR CONTOUR			
WATER MAIN			
SANITARY SEWER			
FORCEMAIN			
STORM SEWER			
STREET LIGHT			
PEDESTAL/PULL PIT			
BUILDING			





- Design Guidelines:**
1. Subdivide Lot 12: Create Lot A to accommodate a Multi-family Building with more or less 70 Units; create Lot B for City's Lift Station 12.
 2. Create Utility and Access Easements in Lot A instead of an 18 meter wide Road to access Lot B and make Lot A more feasible to develop.
 3. Subdivide Lot 11: Create 3 Lots C, D, and E. Create a park Lot. Create 2 Lots for middle-multi-family (minimum of 4 units for each Lot). The dividing Lot line should consider existing topography.
 4. Regrade Lots C, D, and E; determine best access whether from Hagel Dr. or Lemay Dr. General drainage direction is to Hagel Dr. Requires engineering.
 5. Make Lot C on the rear side yard safer by adding a retaining wall (i.e. gabion basket retaining wall?) and structural barrier fence or railing. Requires engineering.
 6. Make a turnaround at the north end of Hagel Dr.
 7. Confirm developability of Lot F. Constraints are informal fire lane to Cavo and main pipes crossing the Lot.

LEGEND:

-  Proposed New Lot
-  Access/Utility EASEMENT
-  Proposed PR Zone

APPROVED
McWilliams
 Director of Planning
 Date: April 28, 2022



City of Yellowknife
 Planning & Lands Division

PROJECT: **Proposed Subdivision of Lots 11, 12, & 116 Block 307 & 308**

TITLE: **Subdivision Sketch**

SCALE: 1:600	CREATED BY: VF
FILE: DM#	
DATE: November 24, 2021	

SEE APPENDIX B –
NIVEN LAKE PHASE 5 TRAFFIC
STUDY