ISSUED FOR CONSTRUCTION December 9, 2025

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NOVA APARTMENTS HOTEL

NOTICE, DISCLAIMER

[illegible]

GENERAL NOTES:

THIS PLAN SET, CONSIDERED HERE THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND REPAIR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. BUILDING CODES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/OWNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

Luso International Design Inc.
(780) 965-8548
lusodesigns@hotmail.com

NIVEN LAKE
Yellowknife, N.W.T.

JOE
(780) 965-8548

Rendering

SCALE: 1/8" = 1'-0"

DATE: 2025-12-09

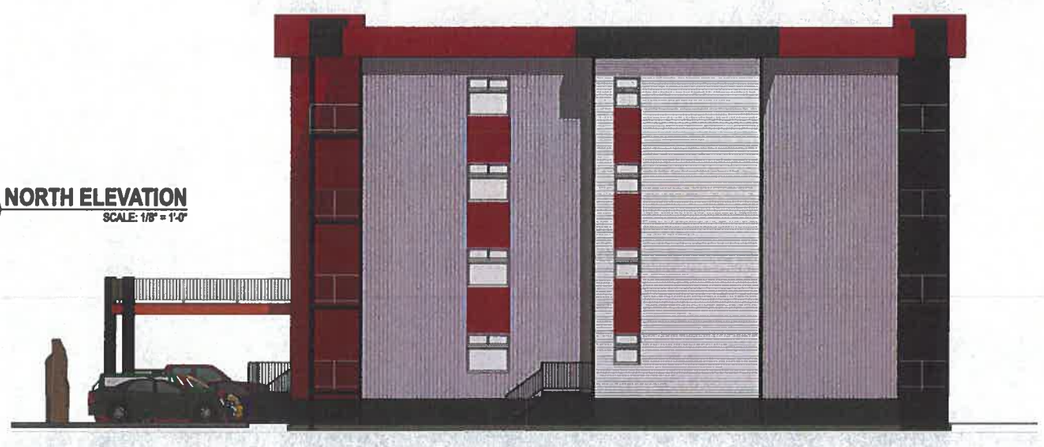
DRAWN BY: J.M.

SHEET NUMBER
1

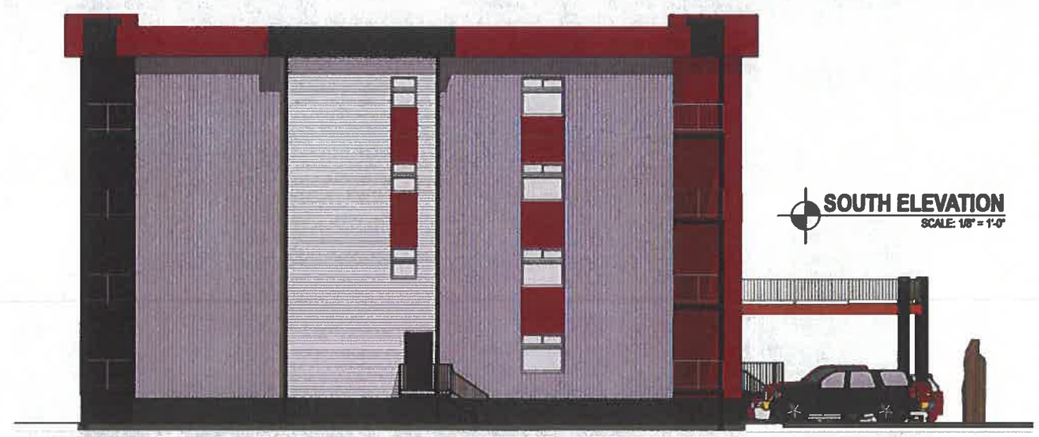
ISSUED FOR CONSTRUCTION December 9, 2025

EAST ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

NOTICE, DISCLAIMER

[illegible]

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WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONTACTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES AND FOUND ON THE PLANS OR NOTES, OR IF A CONDITION ARISES OVER THE SCOPE OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
ALL TRADES SHALL SUPERVISE ALL OF WORK DONE AT THE END OF EACH WORK DAY.

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lusodesigns@hotmail.com

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Color Elevations

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

SHEET NUMBER
2

Issued for Development & Foundation Permit April 9, 2026

CHATEAU NOVA, 4571 48 ST, YELLOWKNIFE, NT, X1A 0E2, CAN"

NORTH

LEGEND:

LP - SOLAR LIGHT POST

PORPOSED FINAL GRADES

POWER

WATER

SEWER

CS - REGULATIONS	MIXED USE	COMMERCIAL/INSTITUTIONAL
Minimum Lot Width	15 m	30 m
Maximum Lot Coverage Principal & Accessory Building	50%	50%
Maximum Height Principal Building	15 m	15 m
Accessory Building	12 m	12 m
Minimum Yard Setback Front Yard	7.5 m	148.0 m
Side Yard	3.0 m	58.8 m / 34.4
Rear Yard	3.0 m	12.0 m

SIGNS:

LOCATED ON THE BUILDING BELOW ROOF OVERHANG

SITE COVERAGE :

Main Floor Building Area: 1368 m²
Second Floor Building Area: 1368 m²
Third Floor Building Area: 1368 m²
Fourth Floor Building Area: 1368 m²

Total Building Area: 5472 m²

Building Footprint Area: 1368 m²
Lot Area: 30,920.68 m²

Proposed Coverage: 17,7%

PROPOSED BUILDING HOTEL

LEGAL DESCRIPTION:

Lot 3, Block 301, Plan 71185
C.L.S.R. No. 1955 L.T.O.

Survey Plan
55638_CLSR_NT

Area (m2) / (f2)
30,920.68 / 332,827

PARKING REQUIREMENTS:

HOTEL - 1 per 2 guest rooms

75 ROOMS = 38 STALLS REQUIRED
43 STALLS PROVIDED

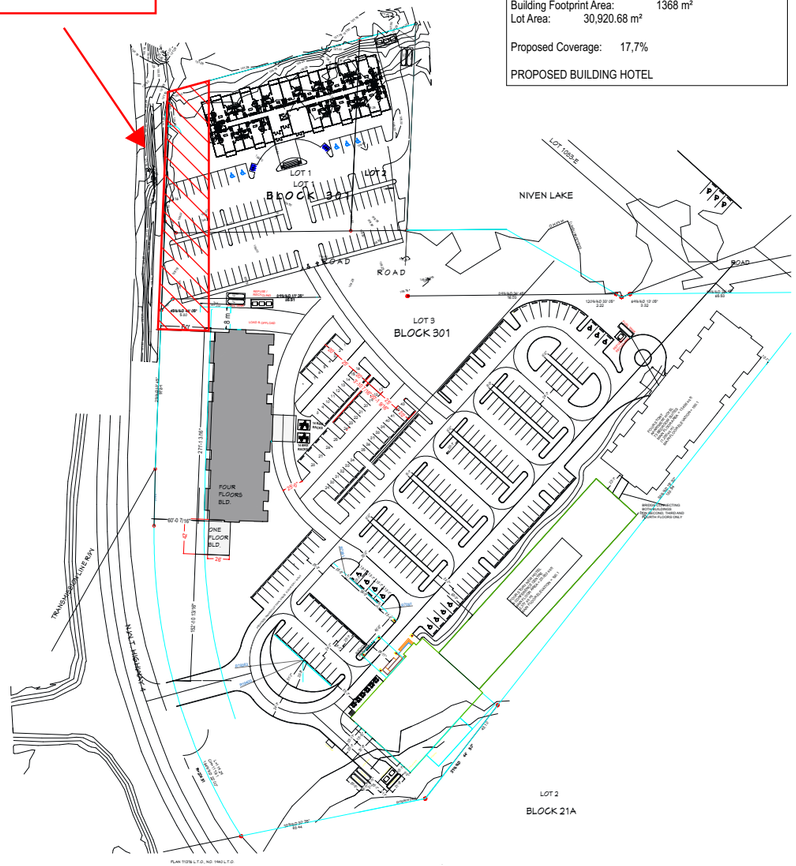
Accessible Parking 1/20
75/20 = 3.7 4 STALLS

Bicycle parking – 1 space per 3 rooms;
75/3 = 25 RACKS REQUIRED
ROVIDED 28 RACKS

GENERAL PROJECT NOTES

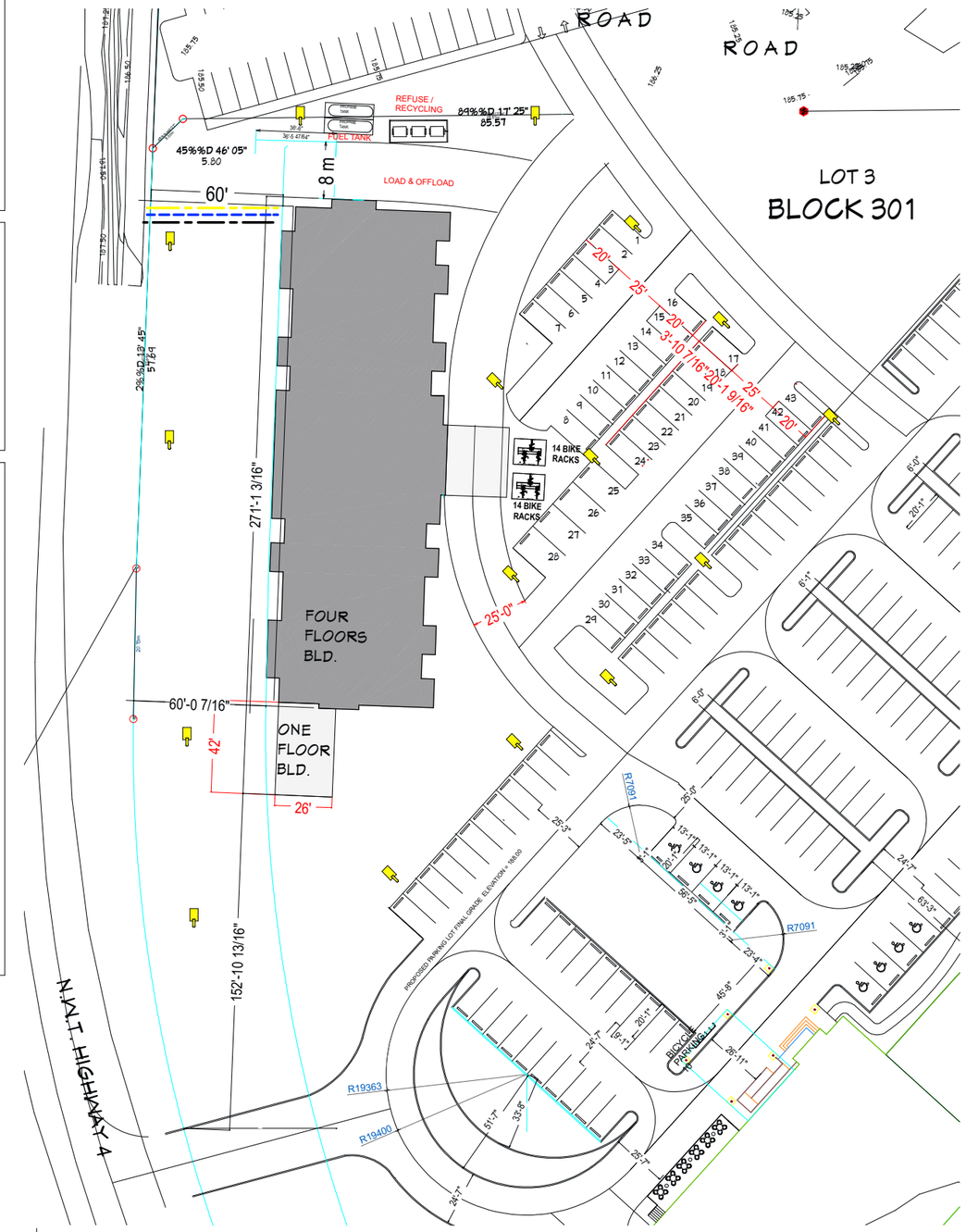
1. ALL WORK TO CONFORM TO THE NATIONAL BUILDING CODE 2015.
2. ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, LANDSCAPE AND SURVEY DRAWINGS.
3. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH GOOD BUILDING PRACTICES. CONTRACTOR TO CAREFULLY INSPECT THE SITE, AND BE FULLY INFORMED OF CONDITIONS AND LIMITATIONS. G.C. TO ALSO REVIEW ALL GEOTECHNICAL REPORTS ISSUED FOR THE SITE PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO CONFIRM ALL DIMENSIONS ON-SITE AND IMMEDIATELY REPORT ANY DISCREPANCY TO THE DESIGN TEAM PRIOR TO PROCEEDING.
5. CONTRACTOR IS RESPONSIBLE TO CONFIRM AND PROVIDE STORM, SANITARY, WATER, ELECTRICITY, GAS REQUIREMENTS AND INSTALLATIONS TO THE APPROVAL OF ALL APPLICABLE CODES AND LOCAL INSPECTORS.
6. DOOR AND WINDOW SIZES ARE NOMINAL. CONTRACTOR TO CONSULT SUPPLIERS FOR EXACT SIZES AND ROUGH OPENING.
7. PROVIDE ALL FRAMING / BLOCKING AS REQUIRED TO ENSURE PROPER SECUREMENT OF ALL MATERIALS, EQUIPMENT, ACCESSORIES, ETC.
8. MAINTAIN SAFE ACCESS TO ALL REQUIRED EXITS AT ALL TIMES.
9. ALL NEW AND EXISTING ELEVATIONS TO BE VERIFIED.
10. CONTRACTOR TO COORDINATE LOCATIONS OF ALL MECHANICAL & ELECTRICAL EQUIPMENT PRIOR TO ROUGH-IN AND INSTALLATION.
11. PROVIDE PRE-FINISHED METAL FLASHING OVER ALL EXTERIOR DOORS AND WINDOWS. FLASHING TO MATCH BUILDING COLOUR SCHEME.
12. PROVIDE CONTINUOUS ROD AND SEALANT JOINT AT ALL JUNCTION OF DISSIMILAR MATERIALS, CONTROL JOINTS & OTHER LOCATIONS AS APPROPRIATE.

20m landscaped/ natural 'buffer to be maintained or PL-2019-0166 to be amended.



GENERAL LOCATION PLAN

SCALE: 1m = 1000m



ENLARGED LOCATION DETAIL

SCALE: 1m = 350m

NOTICE, DISCLAIMER

THESE DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

THESE DOCUMENTS ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO THE THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE DESIGNER.

DO NOT SCALE DRAWINGS. USE ONLY THE PRINTED DIMENSIONS.

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS & CHECKING THEM FOR ACCURACY, THE OWNER/CONTRACTOR MUST CHECK ALL DETAILS & DIMENSIONS & IS RESPONSIBLE FOR THE SAME OF ALL GOVERNING CODES AND BUILDING PRACTICES.

REPORT INCONSISTENCIES & DIMENSIONS TO THE DESIGNER IMMEDIATELY FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. THE DESIGNER, LUSO INTERNATIONAL DESIGN INC. IS NOT LIABLE FOR ANY ERRORS, OMISSIONS OR ANY MISSING DIMENSIONS TO THE DRAWINGS.

ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE PROVINCIAL & LOCAL CODES.

DEVIATIONS FROM THE CONTRACT DOCUMENTS OR ANY ADDITIONAL WORK BEYOND THE CONSULTANT/DESIGNER ARE SUBJECT TO THE CORRECTION AT THE CONTRACTOR/OWNERS EXPENSE.

ALL WORK IS TO BE DONE IN ACCORDANCE WITH PART 9 OF THE ABC (2014). PORTIONS OF WORK FALLING OUTSIDE PART 9 SHALL BE DESIGNED BY A LICENSED ENGINEER.

THE DESIGNER, LUSO INTERNATIONAL DESIGN INC. IS NOT LIABLE FOR ANY ERRORS, OMISSIONS OR ANY MISSING DIMENSIONS TO THE DRAWINGS.

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NIVEN LAKE
Yellowknife, N.W.T.

JOE
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Location Plan & Enlarged

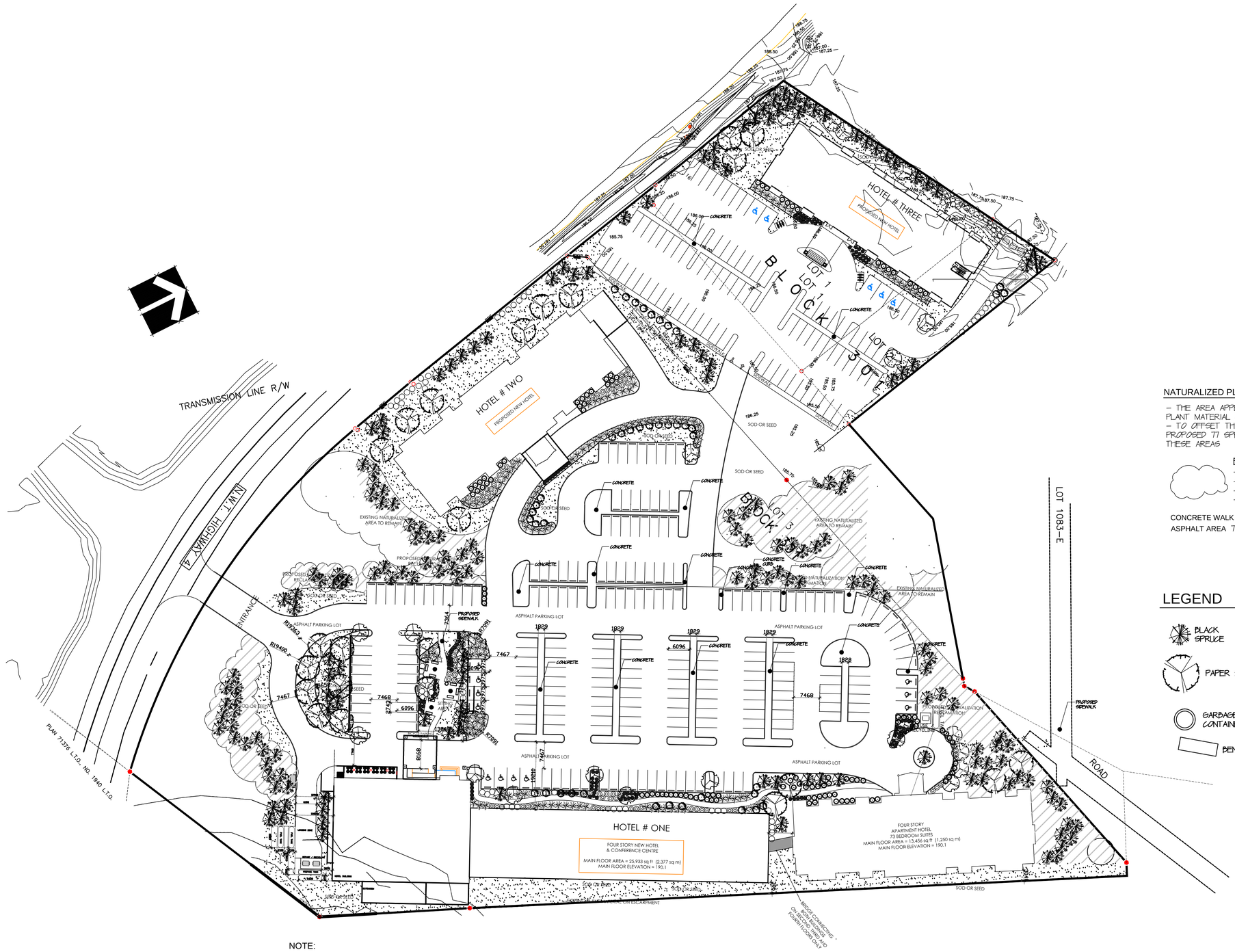
SCALE: 1/8" = 1'-0"

DATE: 2026-04-09

DRAWN BY: J.M.

SHEET NUMBER

3



NATURALIZED PLANTING ONLY 4948 m2

- THE AREA APPEARS TO BE 80% DECIDUOUS PLANT MATERIAL AND 20% EVERGREEN
- TO OFFSET THE DIFFERENCE THERE IS A PROPOSED 77 SPRUCE THAT WILL BE ADDED TO THESE AREAS

EXISTING PLANTS INCLUDE
- WILLOW VARIETIES (SHRUB)
- LOWLAND DECIDUOUS (SHRUB)
- POPLAR SPECIES
- SPRUCE SPECIES

CONCRETE WALK AREA 413 m2
ASPHALT AREA 7919 m2

LEGEND

BLACK SPRUCE
MOUNTAIN ALDER
TREMBLING ASPEN
PAPER BIRCH
WOLF WILLOW
JUNIPER
SASKATOON
POTENTILLA
GARBAGE CONTAINER
PRICKLY ROSE
BENCH

COMPLETE PLANT LIST ON L-2

NOTE:

-ALL AREAS DESIGNATED PROPOSED NATURALIZATION RECLAMATION WILL BE HARVESTED BY ACCEPTABLE METHODS AND HEALED INTO A STRIPPED AND STOCKPILED TOPSOIL AND REPLANTED IN DESIGNATED AREAS.

-ALL INTERIOR PLANTING BEDS TO HAVE 100mm SHREDDED BARK MULCH

REVISION #	DESCRIPTION	CHECKED BY
#3	ADJUSTED WALK TO NEW PATH	BEW
#2	ADDED SECOND BUILDING AND PLANTING	BEW
#1	CITY OF YELLOWKNIFE COMMENTS ADDRESSED	KLP

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W.L.A. GROUP
LANDSCAPE ARCHITECTURE
12 Richmond Lane Fort Saskatchewan AB T8L 0B2
P: 780-554-2545 E: wlagroup@telus.net

APRIL 22, 2026

YELLOWKNIFE ZONING BYLAW ANALYSIS

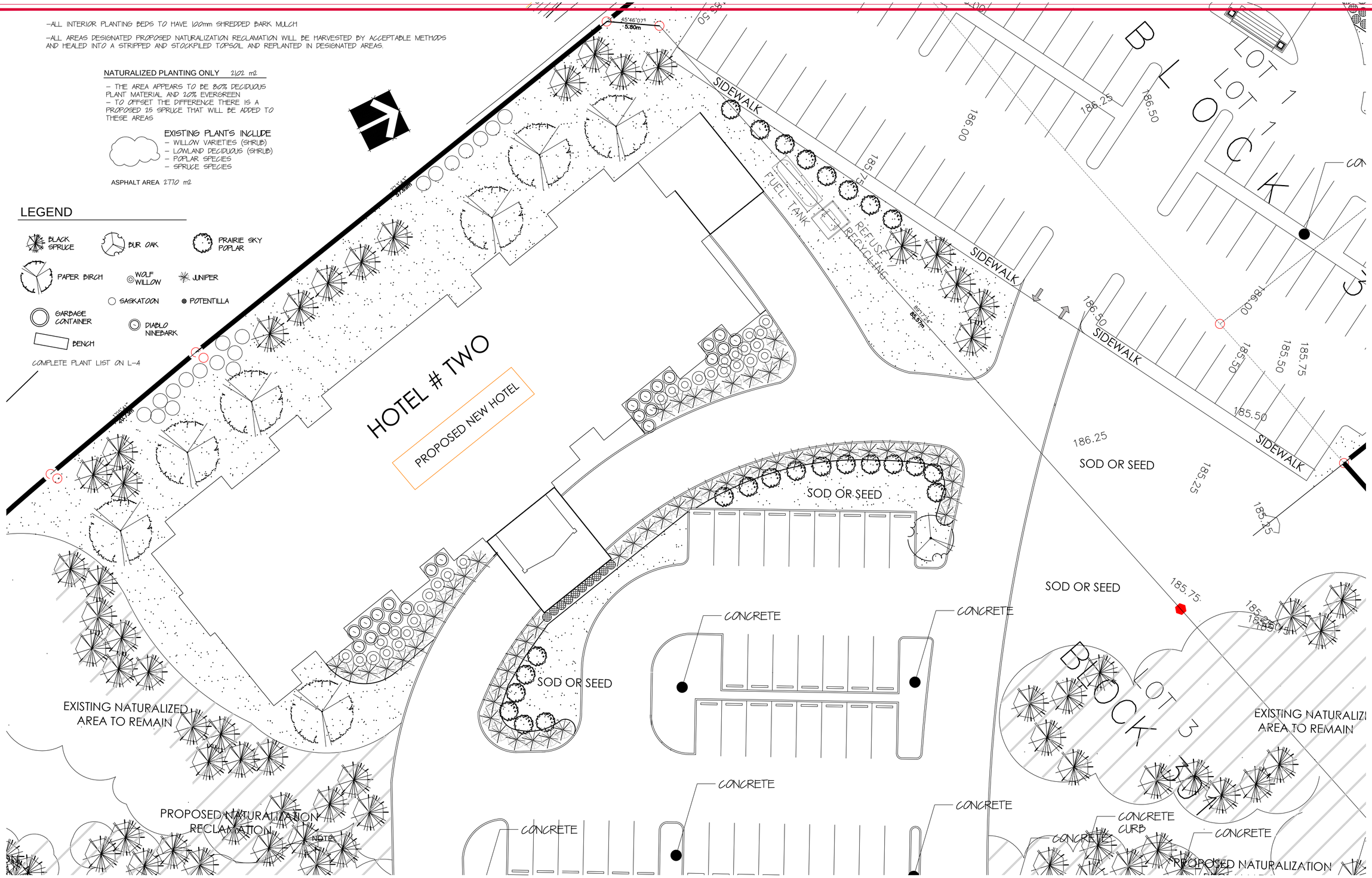
AREA sq. m.	CITY DESIGN STANDARDS	TOTAL
5474	1 TREE/25 sq. m 2 SHRUB/25 sq. m	219 438

NEW PLANTING ONLY

CON. TREES	DEC. TREES	SHRUBS
109	42	281

NOVA GROUP OF COMPANIES
Tel: (780) 702-6682
Fax: (780) 702-6686
#1000, 13920 Yellowhead Trail.
Edmonton, AB T5L 3C2

PROJECT TITLE:	ISSUED BY:	DATE:	REMARKS:	JOB NO.	DRAWING NO.
HOTEL DEVELOPMENT				1431	L-1
PROJECT LEGAL ADDRESS: LOTS 1 TO 3, BLOCK 301 and ROADS				SCALE: 1:600 metric	
PROJECT MUNICIPAL ADDRESS: 48th. Street, YELLOWKNIFE	DRAWING TITLE: LANDSCAPE PLAN			DRAWN BY: BEW	DATE: 30/12/2025



REVISION #	DESCRIPTION	CHECKED BY

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W.L.A. GROUP
LANDSCAPE ARCHITECTURE
12 Richmond Link Fort Saskatchewan AB T8L 0S2
P 780+ 554+ 2545 E wlagroup@telus.net

APRIL 22, 2026

YELLOWKNIFE ZONING BYLAW ANALYSIS

AREA sq. m.	CITY DESIGN STANDARDS	TOTAL
2080	1 TREE/25 sq. m 2 SHRUB/25 sq. m	83 166

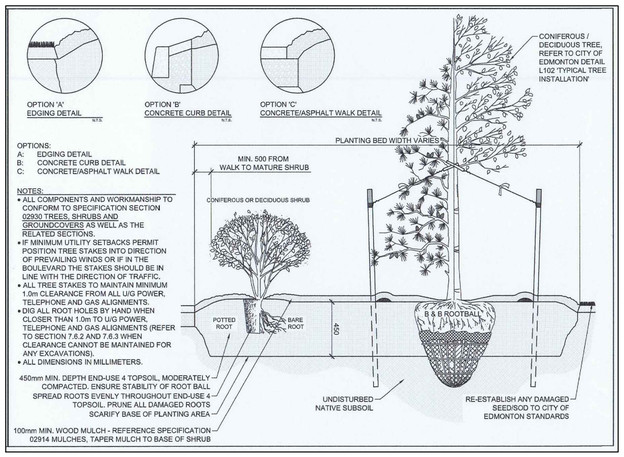
NEW PLANTING ONLY

CON. TREES	DEC. TREES	SHRUBS
42	33	133

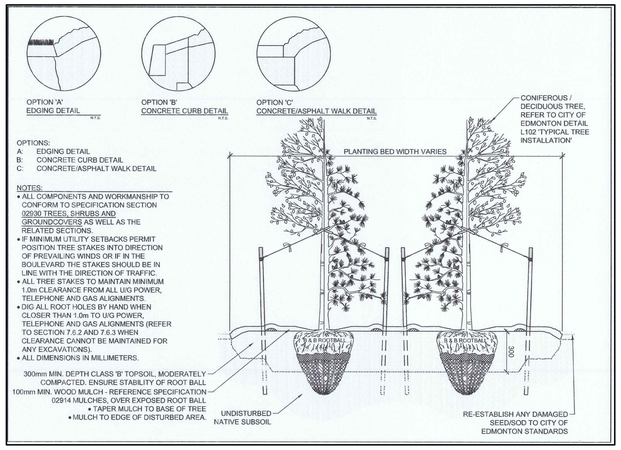
NOVA
GROUP OF COMPANIES
Tel: (780) 702-6682
Fax: (780) 702-6686
#1000, 13920 Yellowhead Trail.
Edmonton, AB T5L 3C2

PROJECT TITLE: HOTEL DEVELOPMENT	ISSUED BY:	DATE:	REMARKS:
PROJECT LEGAL ADDRESS: LOTS 1 TO 3, BLOCK 301 and ROADS			
PROJECT MUNICIPAL ADDRESS: 48th. Street, YELLOWKNIFE	DRAWING TITLE: LANDSCAPE PLAN-HOTEL 2		

JOB NO.	DRAWING NO.
1431	L-2
SCALE: 1:200 metric	
DRAWN BY: BEW	DATE: 30/12/2025



TYPICAL TREE AND SHRUB PLANTING BED



TYPICAL TREE PLANTING BED

HOTEL # ONE

INTERIOR NEW PLANTING LIST

QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
14	TREMBLING ASPEN	POPULUS TREMULOIDES	2000mm HT.	POTTED
32	BLACK SPRUCE	PICEA MARIANA	1000mm HT.	POTTED
15	PAPER BIRCH	BETULA PAPYRIFERA	2000mm HT.	POTTED
13	MOUNTAIN ALDER	ALNUS INCANA	2000mm HT.	POTTED
SHRUBS				
86	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	600 mm HT.	POTTED
46	COMMON JUNIPER	JUNIPERUS COMMUNIS 400 mm SP.	POTTED	
28	SMOKEY SASKATOON	AMELANCHIER ALNIFOLIA 'SMOKEY'	600 mm HT.	POTTED
53	WOLF WILLOW	ELAEAGNUS COMMUTATA	600 mm HT.	POTTED
68	PRICKLY ROSE	ROSA ACICULARIS	600 mm HT.	POTTED

NATURALIZATION RECLAMATION PLANT LIST

QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
77	BLACK SPRUCE	PICEA MARIANA	1000mm HT.	POTTED

HOTEL # TWO

INTERIOR NEW PLANTING LIST

QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
25	TREMBLING ASPEN	POPULUS TREMULOIDES	2000mm HT.	POTTED
17	BLACK SPRUCE	PICEA MARIANA	1000mm HT.	POTTED
7	PAPER BIRCH	BETULA PAPYRIFERA	2000mm HT.	POTTED
1	MOUNTAIN ALDER	ALNUS INCANA	2000mm HT.	POTTED
SHRUBS				
10	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	600 mm HT.	POTTED
57	COMMON JUNIPER	JUNIPERUS COMMUNIS	400 mm SP.	POTTED
13	SMOKEY SASKATOON	AMELANCHIER ALNIFOLIA 'SMOKEY'	600 mm HT.	POTTED
30	WOLF WILLOW	ELAEAGNUS COMMUTATA	600 mm HT.	POTTED
23	PRICKLY ROSE	ROSA ACICULARIS	600 mm HT.	POTTED

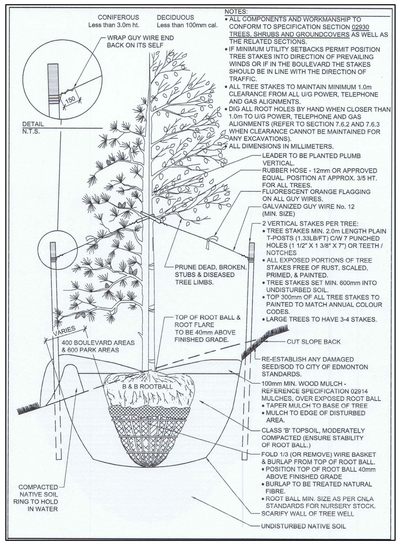
NATURALIZATION RECLAMATION PLANT LIST

QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
25	BLACK SPRUCE	PICEA MARIANA	1000mm HT.	POTTED

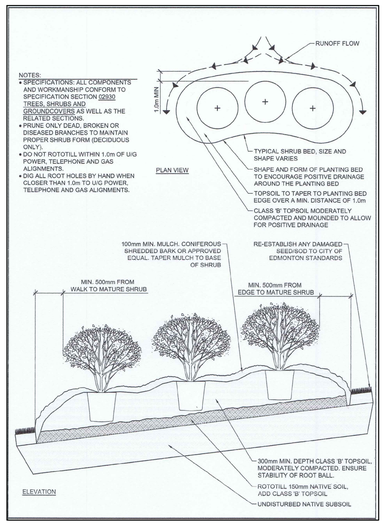
HOTEL # THREE

INTERIOR NEW PLANTING LIST

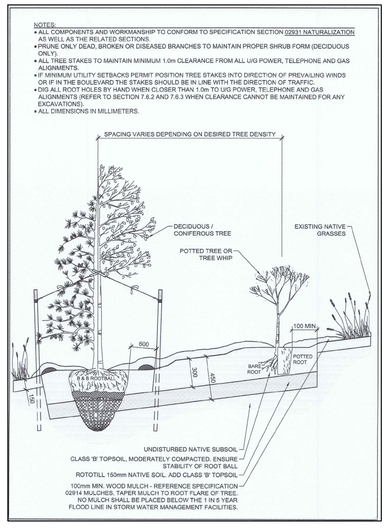
QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
11	TREMBLING ASPEN	POPULUS TREMULOIDES	2000mm HT.	POTTED
33	BLACK SPRUCE	PICEA MARIANA	1000mm HT.	POTTED
3	PAPER BIRCH	BETULA PAPYRIFERA	2000mm HT.	POTTED
6	MOUNTAIN ALDER	ALNUS INCANA	2000mm HT.	POTTED
SHRUBS				
32	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	600 mm HT.	POTTED
18	COMMON JUNIPER	JUNIPERUS COMMUNIS	400 mm SP.	POTTED
34	SMOKEY SASKATOON	AMELANCHIER ALNIFOLIA 'SMOKEY'	600 mm HT.	POTTED
15	PRICKLY ROSE	ROSA ACICULARIS	600 mm HT.	POTTED



TYPICAL TREE PLANTING ON A SLOPE DETAIL



TYPICAL SHRUB PLANTING ON A SLOPE DETAIL



TYPICAL NATURALIZATION PLANTING ON A SLOPE DETAIL

OVERALL PLANTING

YELLOWKNIFE ZONING BYLAW ANALYSIS

AREA sq. m.	CITY DESIGN STANDARDS	TOTAL
9138	1 TREE/25 sq. m 2 SHRUB/25 sq. m	365 730

NEW PLANTING ONLY

CON. TREES	DEC. TREES	SHRUBS
184	95	513

W.L.A. GROUP
LANDSCAPE ARCHITECTURE
12 Richmond Link Fort Saskatchewan AB T8L 0E2
P: 780-554-2546 E: wlagroup@telus.net

APRIL 22, 2026

REVISION #	DESCRIPTION	CHECKED BY
#1	CITY OF YELLOWKNIFE COMMENTS ADDRESSED	KLB

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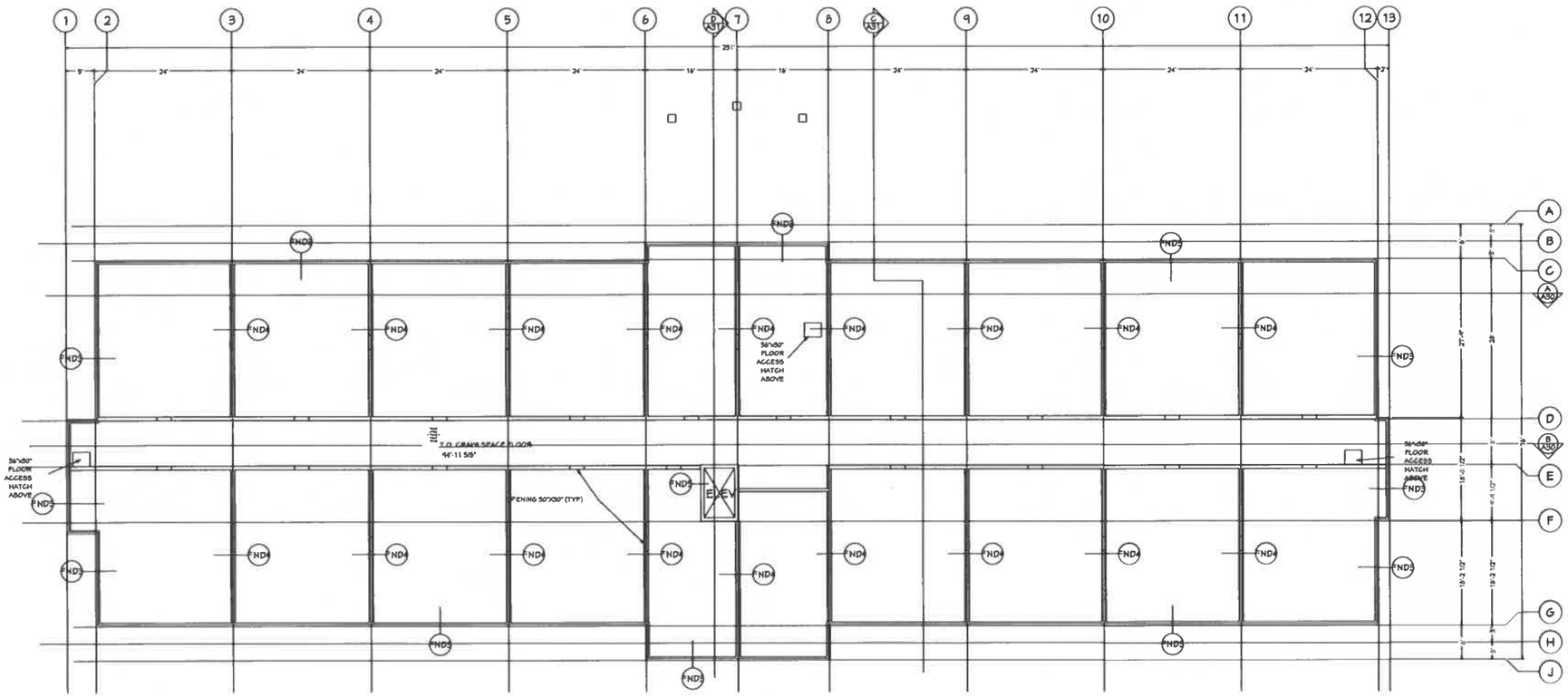
NOVA GROUP OF COMPANIES
Tel: (780) 702-6682
Fax: (780) 702-6686
#1000, 13920 Yellowhead Trail,
Edmonton, AB T5L 3C2

PROJECT TITLE:	ISSUED BY:	DATE:	REMARKS:	JOB NO.	DRAWING NO.
HOTEL DEVELOPMENT				1431	L-4
PROJECT LEGAL ADDRESS: LOTS 1 TO 3, BLOCK 301 and ROADS				SCALE: NTS	
PROJECT MUNICIPAL ADDRESS: 48th. Street, YELLOWKNIFE	DRAWING TITLE: PLANT LIST AND DETAILS			DRAWN BY: KLB	DATE: 09/24/2015

ISSUED FOR CONSTRUCTION December 9, 2025



CRAWLSPACE LEVEL PLAN

3/32" = 1'-0"

WALL LEGEND:

- W1 TYPICAL EXTERIOR WALL
- W2 SUITE SEPERATION/STAIR WALL
- W3 CORRIDOR WALL
- W4 TYPICAL INTERIOR WALL
- W5 PLUMBING WALL
- W6 DUCT / FLUE SHAFT

NOTICE, DISCLAIMER

[illegible]

GENERAL NOTES:

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ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

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Luso International Design Inc.
(780) 965-8548
lusodesigns@hotmail.com

NIVEN LAKE
Yellowknife, N.W.T.

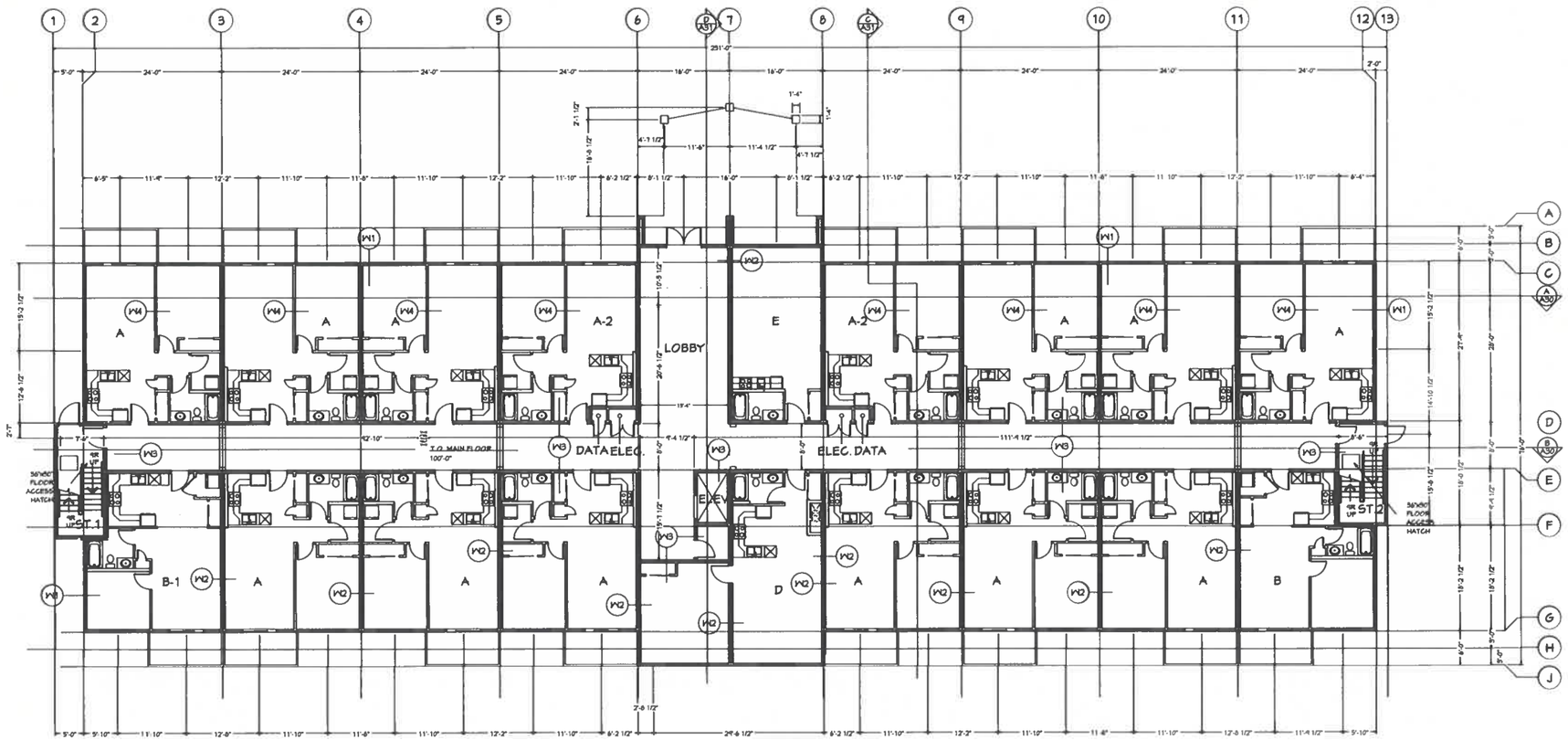
JOE
(780) 965-8548

Crawlspace Level Plan

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

SHEET NUMBER
4

ISSUED FOR CONSTRUCTION December 9, 2025



MAIN FLOOR PLAN

3/32" = 1'-0"

WALL LEGEND:

- W1 TYPICAL EXTERIOR WALL
- W2 SUITE SEPERATION/STAIR WALL
- W3 CORRIDOR WALL
- W4 TYPICAL INTERIOR WALL
- W5 PLUMBING WALL
- W6 DUCT / FLUE SHAFT

MAIN FLOOR SUITES:

TYPE OF SUITE	NO. OF SUITES	TYPE OF UNIT	AREA
TYPE A	12 SUITES	1 BEDROOM, 1 BATH	667 SQ.FT
TYPE A-2	1 SUITES	1 BEDROOM, 1 BATH	646 SQ.FT
TYPE B	1 SUITE	1 BEDROOM, 1 BATH	602 SQ.FT
TYPE B-2	1 SUITE	1 BEDROOM, 1 BATH	624 SQ.FT
TYPE D	1 SUITE	1 BEDROOM, 1 BATH	834 SQ.FT
TYPE E	1 SUITE	1 BEDROOM, 1 BATH	493 SQ.FT
TOTAL	18 SUITES		

NOTICE, DISCLAIMER

[illegible]

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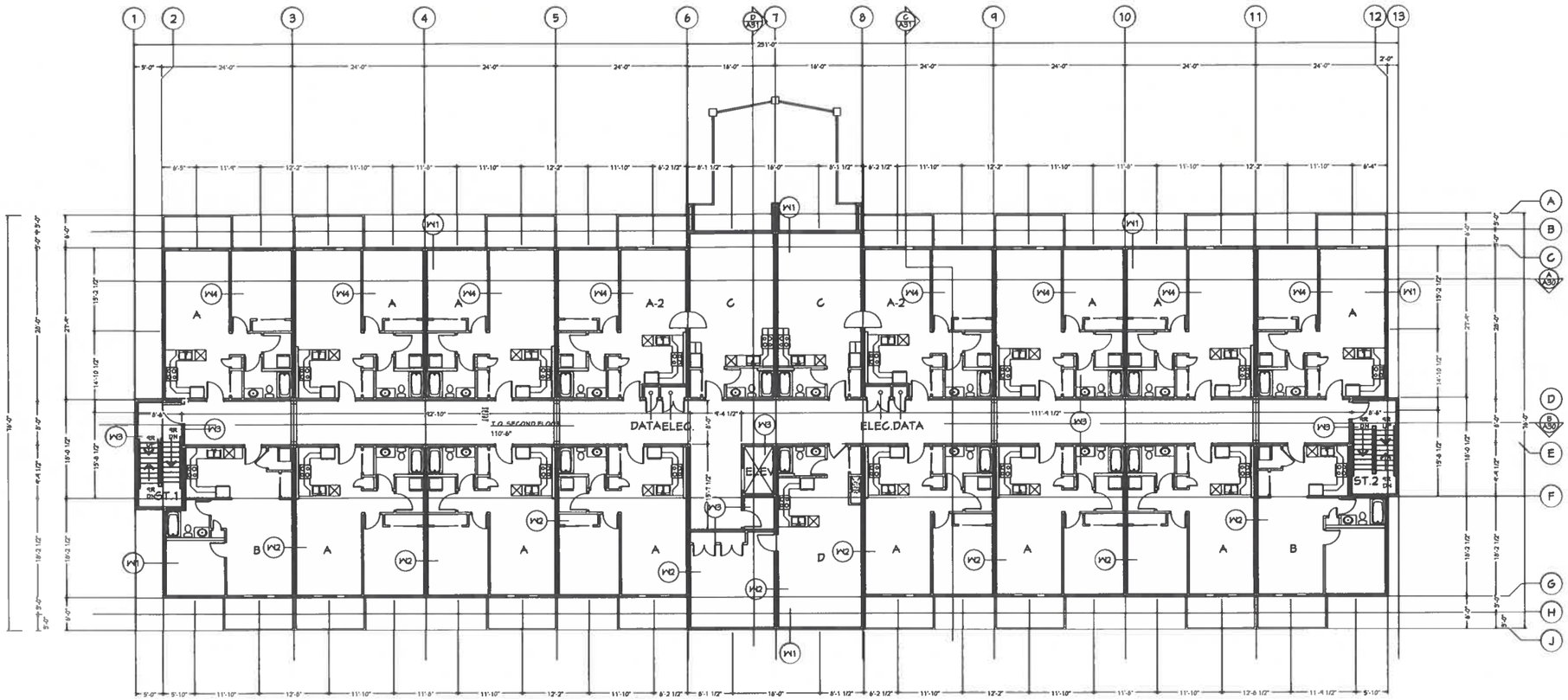
Main floor Plan

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

SHEET NUMBER
5

ISSUED FOR CONSTRUCTION December 9, 2025



SECOND FLOOR PLAN

3/32" = 1'-0"

WALL LEGEND:

- W1 TYPICAL EXTERIOR WALL
- W2 SUITE SEPERATION/STAIR WALL
- W3 CORRIDOR WALL
- W4 TYPICAL INTERIOR WALL
- W5 PLUMBING WALL
- W6 DUCT / FLUE SHAFT / ELEVATOR WALL

SECOND/THIRD FLOOR SUITES:

TYPE OF SUITE	NO. OF SUITES	TYPE OF UNIT	AREA
TYPE A	12 SUITES	1 BEDROOM, 1 BATH	667 SQ FT.
TYPE A-2	2 SUITES	1 BEDROOM, 1 BATH	646 SQ FT.
TYPE B	2 SUITES	1 BEDROOM, 1 BATH	602 SQ FT.
TYPE C	2 SUITES	1 BEDROOM, 1 BATH	446 SQ FT.
TYPE D	1 SUITE	1 BEDROOM, 1 BATH	834 SQ FT.
TOTAL	19 SUITES		

NOTICE, DISCLAIMER

[illegible]

GENERAL NOTES:

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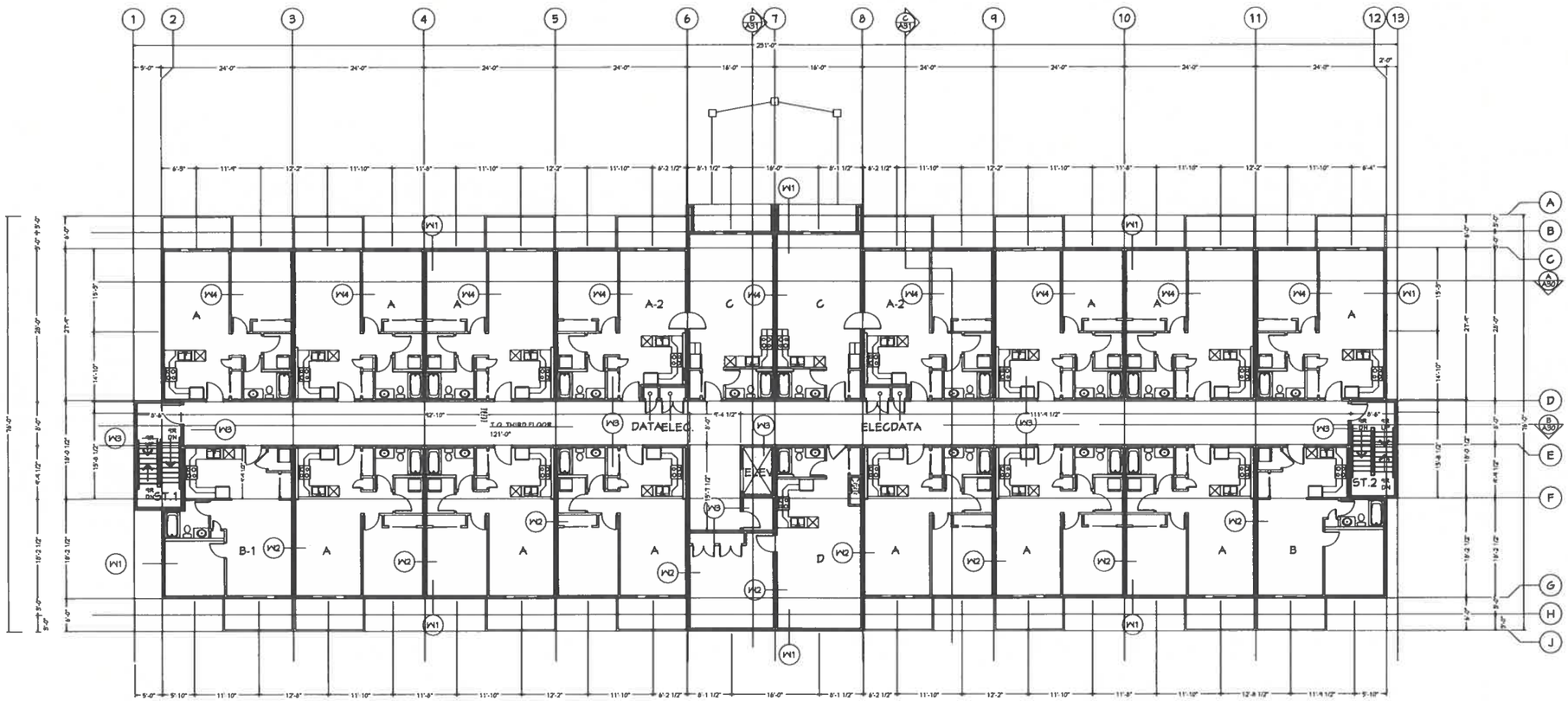
Second Floor Plan

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

SHEET NUMBER
6

ISSUED FOR CONSTRUCTION December 9, 2025



THIRD FLOOR PLAN

3/32" = 1'-0"

WALL LEGEND:

- W1 TYPICAL EXTERIOR WALL
- W2 SUITE SEPERATION/STAIR WALL
- W3 CORRIDOR WALL
- W4 TYPICAL INTERIOR WALL
- W5 PLUMBING WALL
- W6 DUCT / FLUE SHAFT / ELEVATOR WALL

SECOND/THIRD FLOOR SUITES:

TYPE OF SUITE	NO. OF SUITES	TYPE OF UNIT	AREA
TYPE A	12 SUITES	1 BEDROOM, 1 BATH	661 SQ.FT
TYPE A-2	2 SUITES	1 BEDROOM, 1 BATH	646 SQ.FT
TYPE B	2 SUITES	1 BEDROOM, 1 BATH	602 SQ.FT
TYPE C	2 SUITES	1 BEDROOM, 1 BATH	496 SQ.FT
TYPE D	1 SUITE	1 BEDROOM, 1 BATH	534 SQ.FT
TOTAL	19 SUITES		

NOTICE, DISCLAIMER

[illegible]

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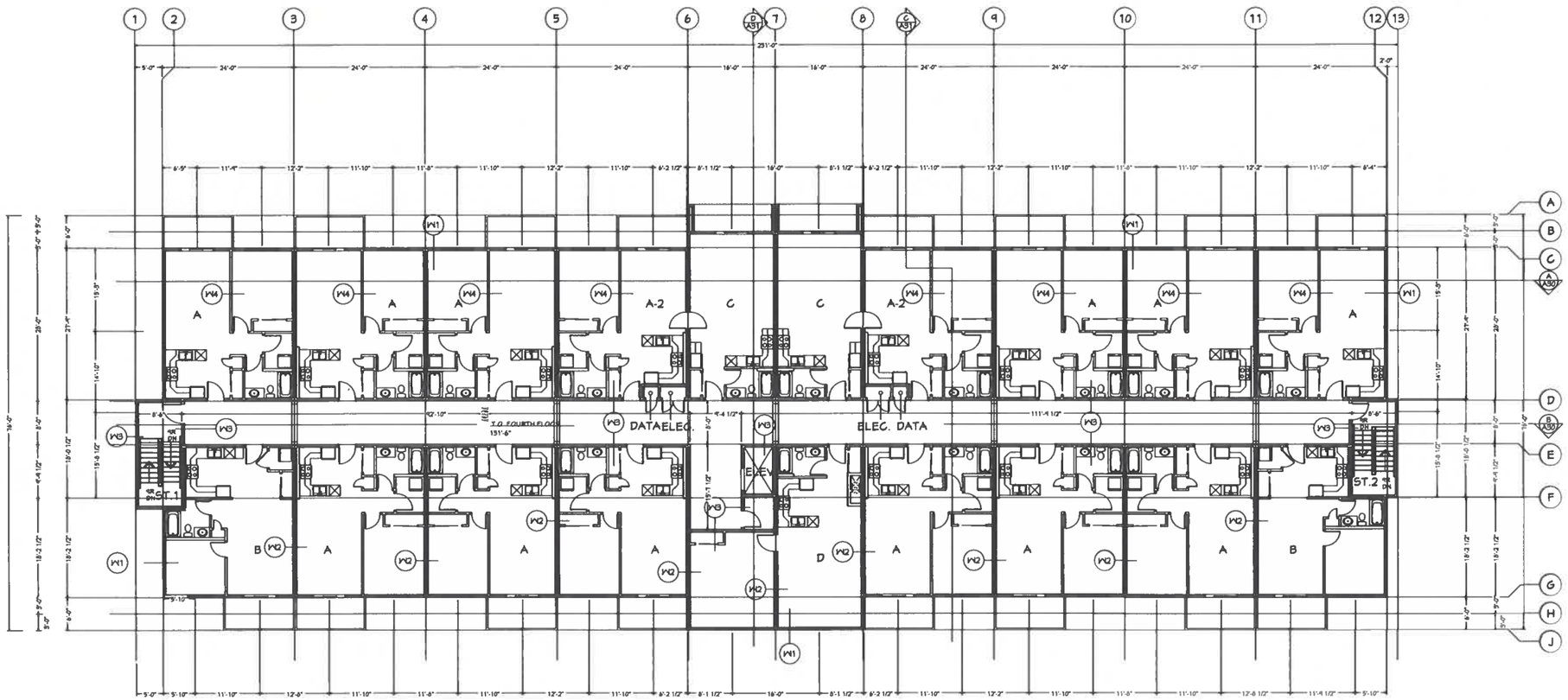
Third Floor Plan

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

SHEET NUMBER
7

ISSUED FOR CONSTRUCTION December 9, 2025



FOURTH FLOOR PLAN

3/32" = 1'-0"

WALL LEGEND:

- W1 TYPICAL EXTERIOR WALL
- W2 SUITE SEPERATION/STAIR WALL
- W3 CORRIDOR WALL
- W4 TYPICAL INTERIOR WALL
- W5 PLUMBING WALL
- W6 DUCT / FLUE SHAFT / ELEVATOR WALL

FOURTH FLOOR SUITES:

TYPE OF SUITE	NO. OF SUITES	TYPE OF UNIT	AREA
TYPE A	12 SUITES	1 BEDROOM, 1 BATH	667 SQ.FT.
TYPE A-2	2 SUITES	1 BEDROOM, 1 BATH	646 SQ.FT.
TYPE B	2 SUITES	1 BEDROOM, 1 BATH	602 SQ.FT.
TYPE C	2 SUITES	1 BEDROOM, 1 BATH	496 SQ.FT.
TYPE D	1 SUITE	1 BEDROOM, 1 BATH	834 SQ.FT.
TOTAL	19 SUITES		

NOTICE, DISCLAIMER

[illegible]

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Fourth Floor Plan

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

SHEET NUMBER
8

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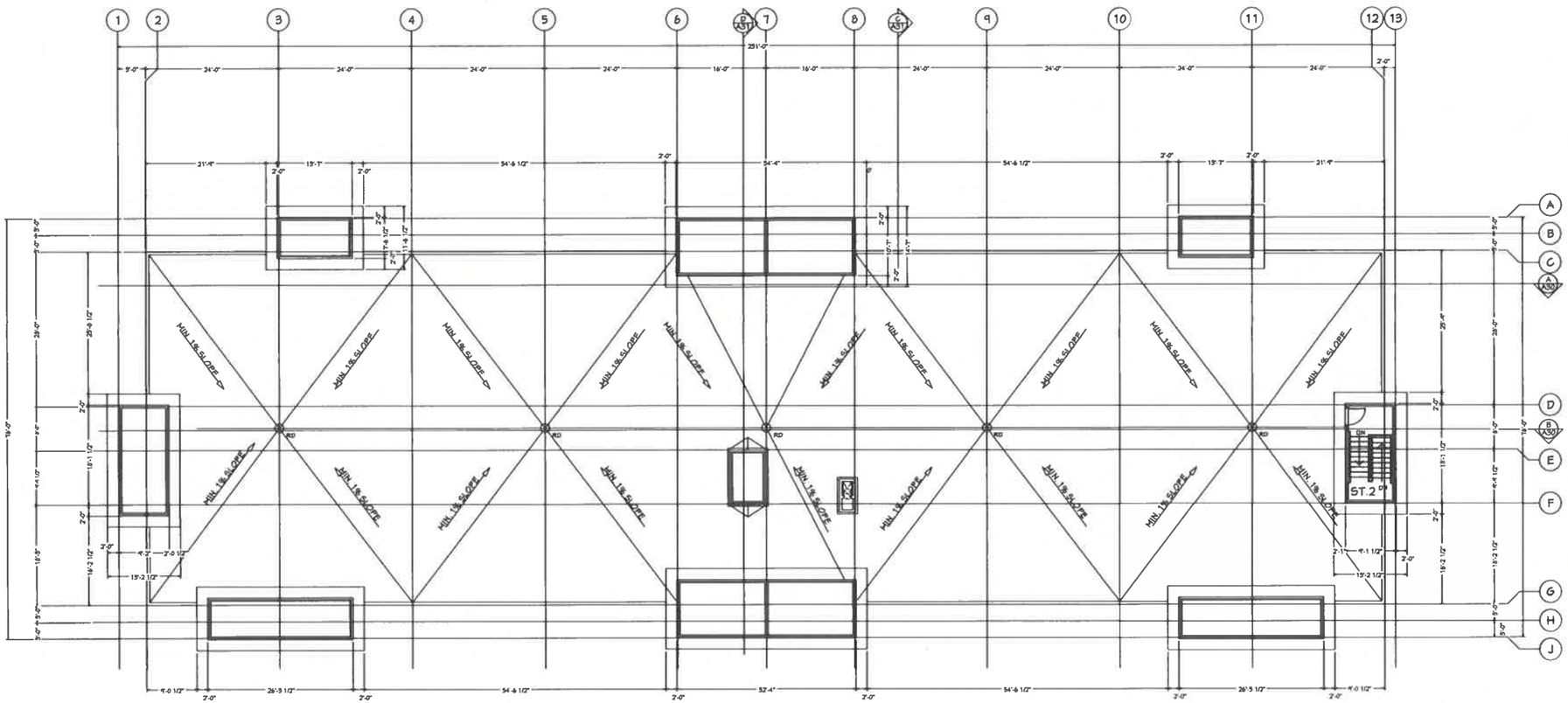

ROOF PLAN

3/32" = 1'-0"

NOTICE, DISCLAIMER

[illegible]

GENERAL NOTES:

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JOE
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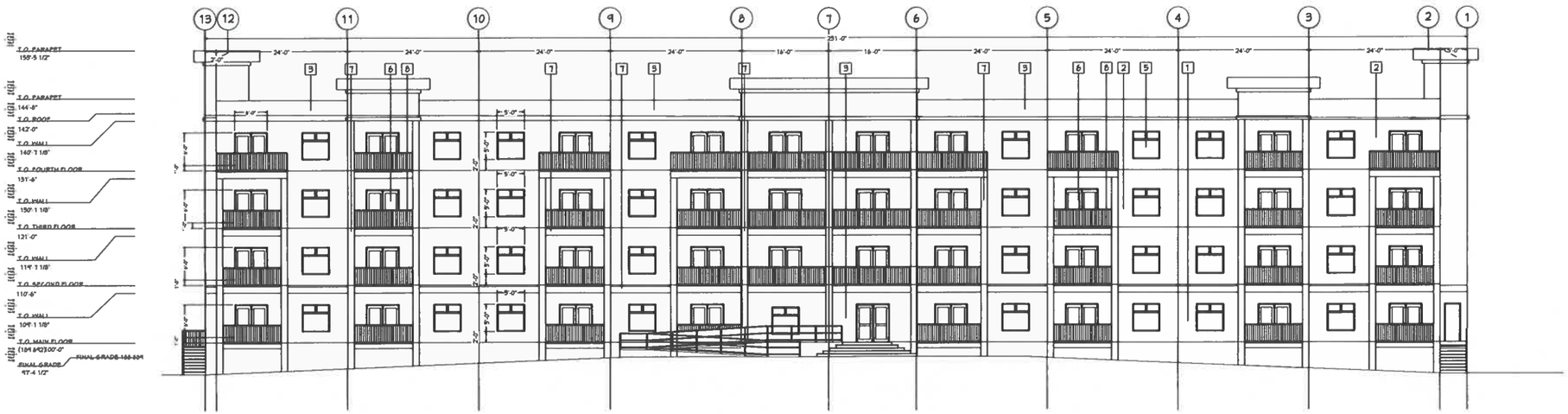
Roof Plan

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

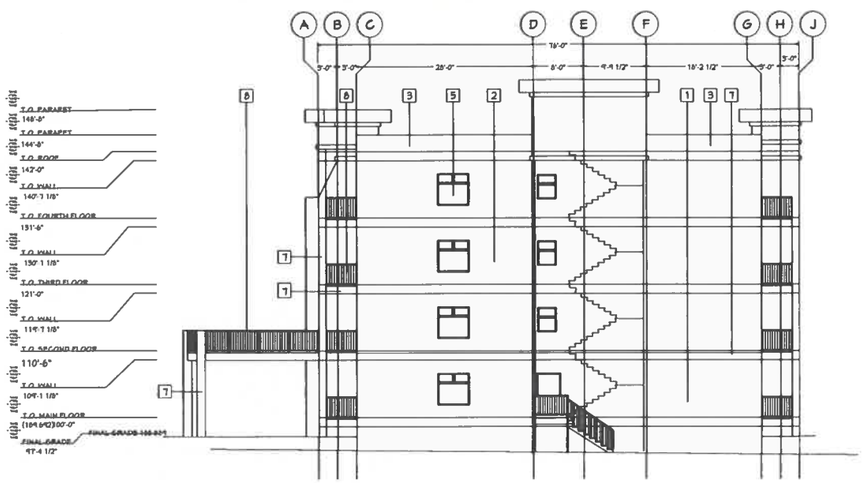
SHEET NUMBER
9

ISSUED FOR CONSTRUCTION December 9, 2025



EAST ELEVATION

3/32" = 1'-0"



NORTH ELEVATION

3/32" = 1'-0"

FINISHES LEGEND

1. HARDIE BOARD - HARDY BEIJE
2. CORRUGATED SILVER
3. CORRUGATED BLACK
4. FIELDSTONE VENEER
5. PVC WINDOWS
6. SLIDING PATIO DOORS
7. PREFINISHED METAL CLADDING - BLACK
8. PAINTED METAL HANDRAIL - BLACK

NOTICE, DISCLAIMER

[illegible]

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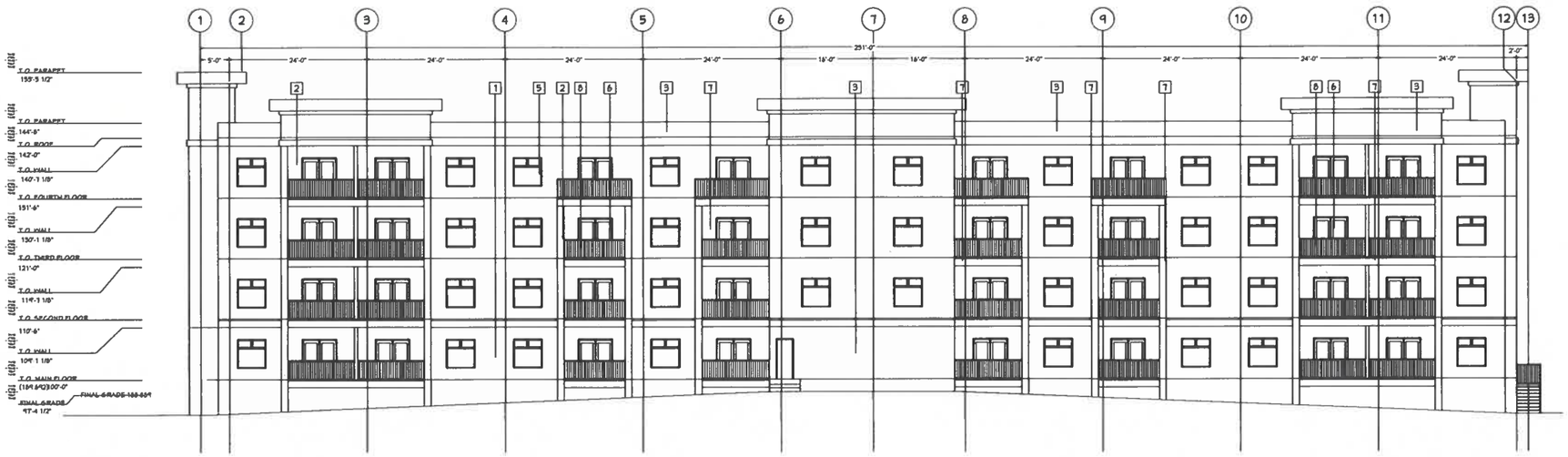
EAST & NORTH Elevations

SCALE 1 8" 1'-0"
DATE 2025-12-09
DRAWN BY J.M.

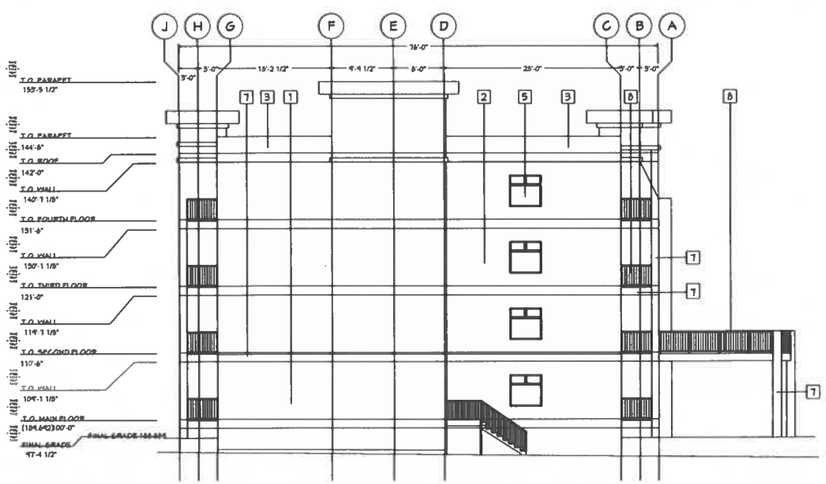
SHEET NUMBER
10

ISSUED FOR CONSTRUCTION December 9, 2025



WEST ELEVATION

3/32" = 1'-0"



SOUTH ELEVATION

3/32" = 1'-0"

FINISHES LEGEND

1. HARDIE BOARD - HARDY BEIJE
2. CORRUGATED SILVER
3. CORRUGATED BLACK
4. FIELDSTONE VENEER
5. PVC WINDOWS
6. SLIDING PATIO DOORS
7. PREFINISHED METAL CLADDING - BLACK
8. PAINTED METAL HANDRAIL - BLACK

NOTICE, DISCLAIMER

THESE DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

THESE DOCUMENTS ARE NOT TO BE REPRODUCED CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT WRITTEN PERMISSION FROM THE DESIGNER PRIOR TO THE COMMENCEMENT OF WORK.

DO NOT SCALE DRAWINGS. USE ONLY FOR PROJECT STATED HEREIN.

A. THE OWNER OR PROJECT SUPERVISOR MUST VERIFY ALL PRE-PARCHASE PRICES, PLANS & SPECIFICATIONS, PRIOR TO PURCHASE OF MATERIALS OR COMMENCEMENT OF WORK. B. THE OWNER OR PROJECT SUPERVISOR IS RESPONSIBLE FOR THE CODE OF ALL CONSTRUCTION STAGES & MUST OBTAIN PROJECT.

SUPPORT DOCUMENTATION & CLEARANCES TO THE CONSULTANT PRIOR TO COMMENCEMENT OF WORK. CONSULTANT WILL NOT WORK.

DO NOT USE, ADD TO OR SCALE THIS DRAWING. REPORT ERRORS TO THE DESIGNER.

A. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE PROVINCIAL & LOCAL CODES.

B. VARIATIONS FROM THE CONTRACT DOCUMENTS MUST REPORT TO THE APPROPRIATE PERSON FOR ESTIMATE TO BE MADE AND AGREED TO BY THE OWNER BEFORE ANY WORK IS DONE.

ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LOT GRADING, DRAINAGE OR SITE PLAN. ANY DEVIATIONS MUST BE SCREENED BY A LICENSED ENGINEER.

THE DESIGNER & LUSO DPM INTERNATIONAL INC DOES NOT HELD HIMSELF LIABLE FOR ANY DEVIATIONS OR CHANGES MADE BY THE OWNER OR THE CONTRACTOR.

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WEST & SOUTH Elevations

SCALE: 1/8" = 1'-0"
DATE: 2025-12-09
DRAWN BY: J.M.

SHEET NUMBER
11