

Type of Application: Development Permit

File Information:

File #: PLDEV-2025-0132

Applicant: Stanton Suites Ltd.

Civic Address: 326 Old Airport Road

Legal Description: Lot 17, Airport Road Subdivision, Plan 515

Intended Development: Hotel

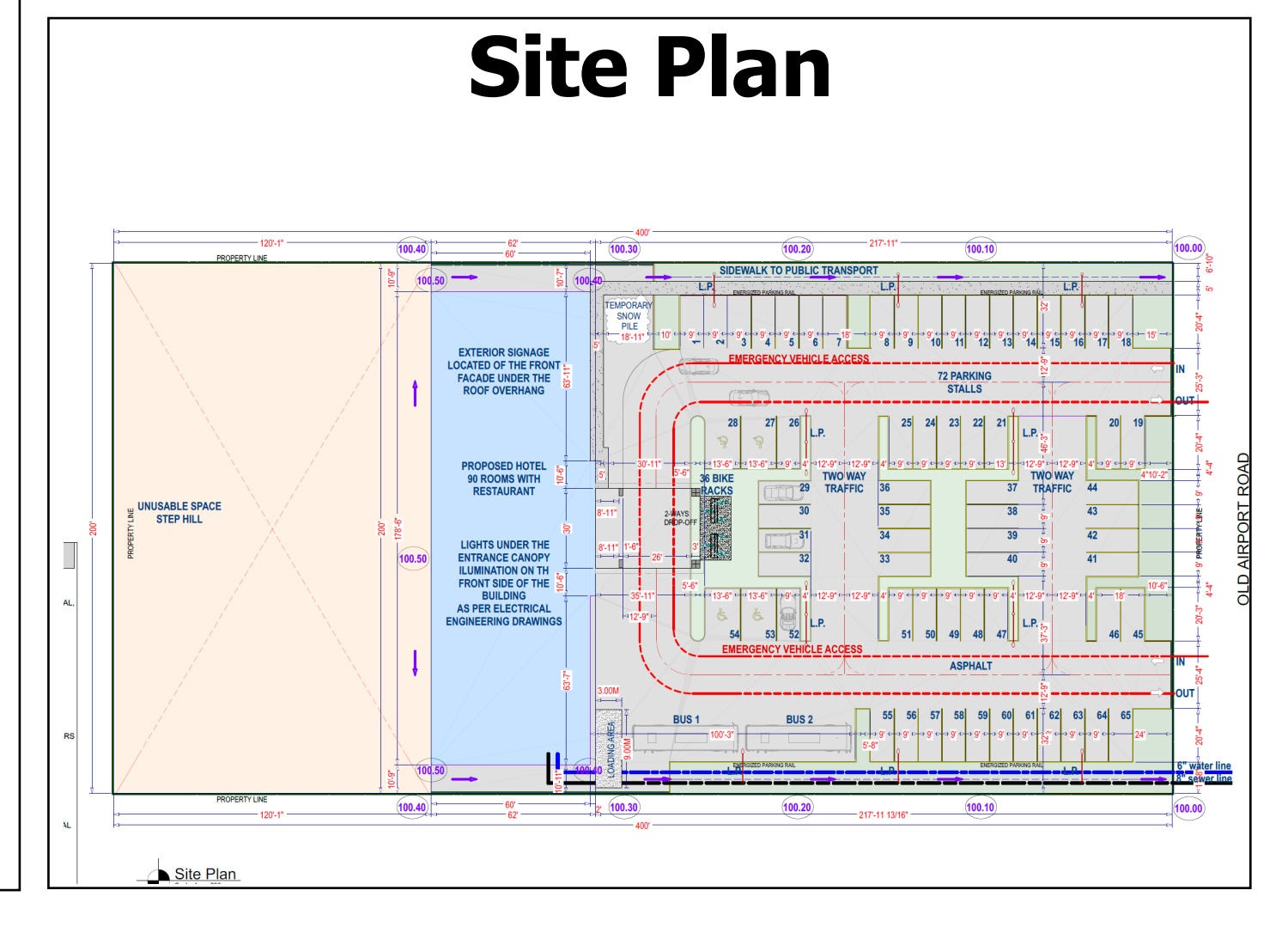
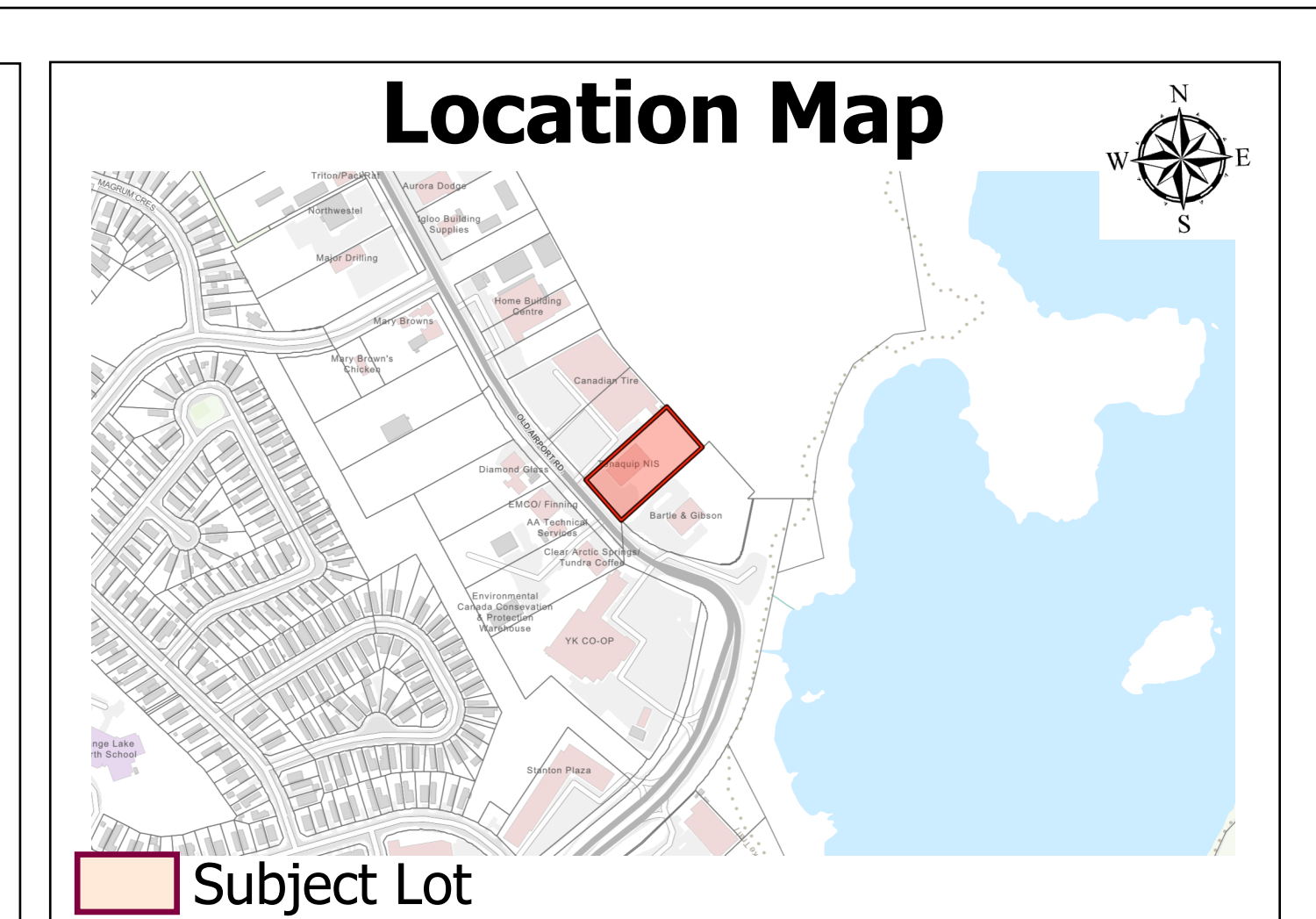
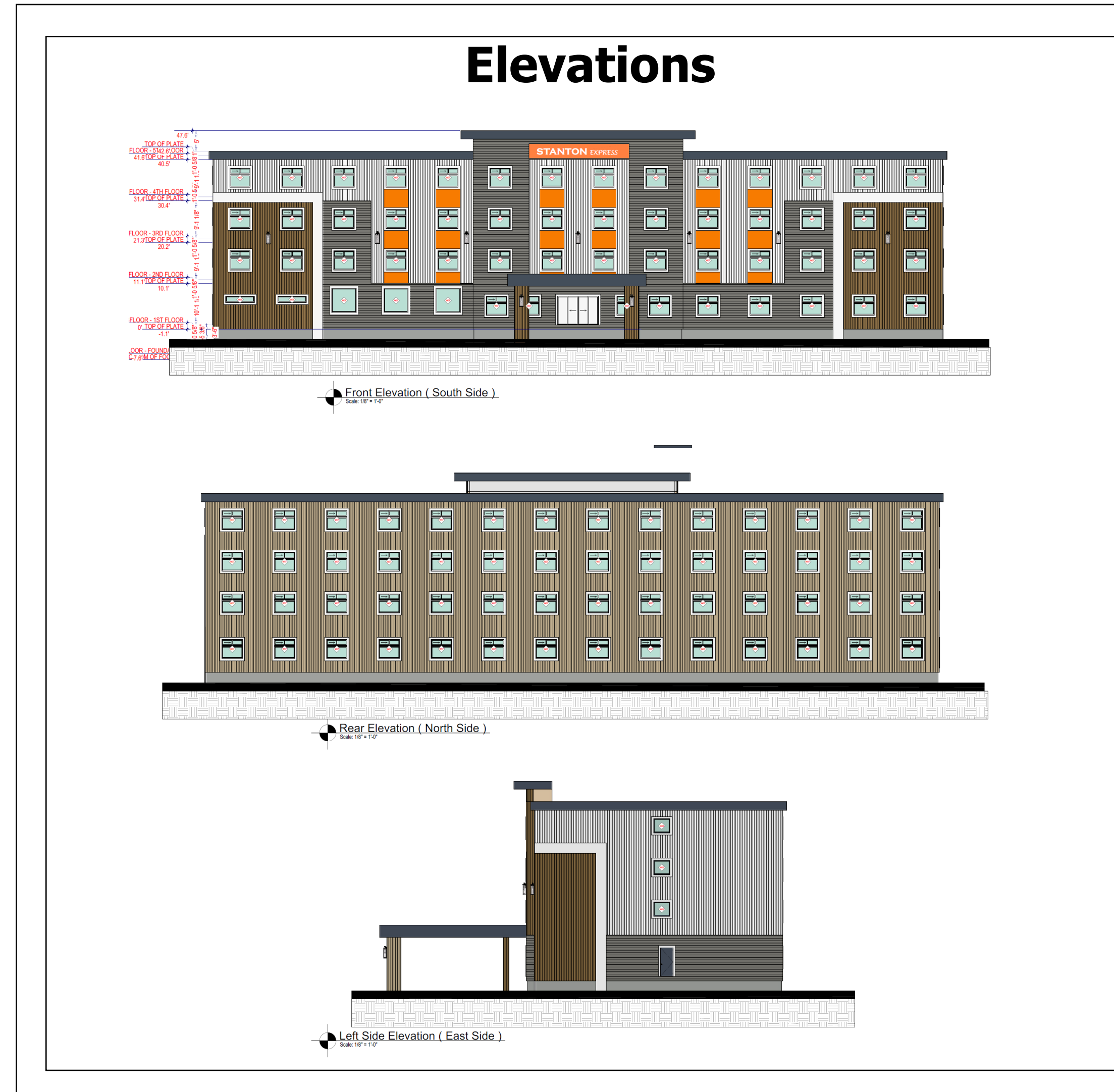
Has been **Approved** subject to the following conditions:

1. The development shall comply with the Approved Stamped Plans for Development Permit PLDEV-2025-0132 and with all by-laws and regulations in effect in the City of Yellowknife.
2. The developer shall submit a grading and drainage plan to the satisfaction of the Public Works and Engineering Department prior to issuance of the Building Permit.
3. No asphalt or concrete curb tie-ins within the municipal right-of-way shall be constructed until revised plans have been submitted to and approved by the City of Yellowknife.
4. The developer shall submit a final landscaping planting list in conformity with the City's Development and Design Standards prior to issuance of the Building Permit.
5. The developer shall enter into a Development Agreement with the City to ensure compliance with the site improvement requirements including traffic stop signs. The agreement must be executed by the developer and security deposits must be paid in full prior to issuance of the Building Permit.
6. The developer shall obtain a Blasting Permit from the Workers Safety and Compensation Commission (WSCC). Prior to commencing a blast, the developer is required to notify the City's Fire Division, Municipal Enforcement Division and Department of Public Works and Engineering.

Effective Date: May 23, 2026

Decision issued on May 8, 2026

Development Officer: Vivian Peng



APPEAL: Any persons claiming to be adversely affected by the development may, in accordance with the Community Planning and Development Act, appeal to the Development Appeal Board. c/o City Clerk's Office, City of Yellowknife, P.O. Box 580, NT X1A 2N4, tel. 920 - 5646. Please note that your notice of appeal must be in writing, comply with the Community Planning and Development Act, include your contact information and include the payment of \$400 appeal fee (the appeal fee will be reimbursed if the decision of the Development Officer is reversed). **The appeal must be received on or before 4:30 p.m. on the 22nd May, 2026.**

GETTING ADDITIONAL INFORMATION: Additional Information regarding the application is available for public inspection by appointment at the Planning and Development Office during regular business hours, Monday to Friday, from 8:30 a.m. to 4:30 p.m. or by the QR code.

