

DRAWING LIST

- A100 Site Plan
- A101 Landscaping Plan
- A111 Basement Plan
- A112 First Floor Plan
- A201 Elevations
- A301 Building Sections

2 FINDLAY POINT Concept Plans

Yellowknife, NWT

The Builder is responsible to check and verify all dimensions on this plan for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.

Our plan drawing sets do not take into account site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.

No warranties are either expressed, implied, or guaranteed by this document. It is assumed that the builder has a good knowledge of building physics and the construction techniques necessary to prevent building degradation.

Client

Date 2025-11-25

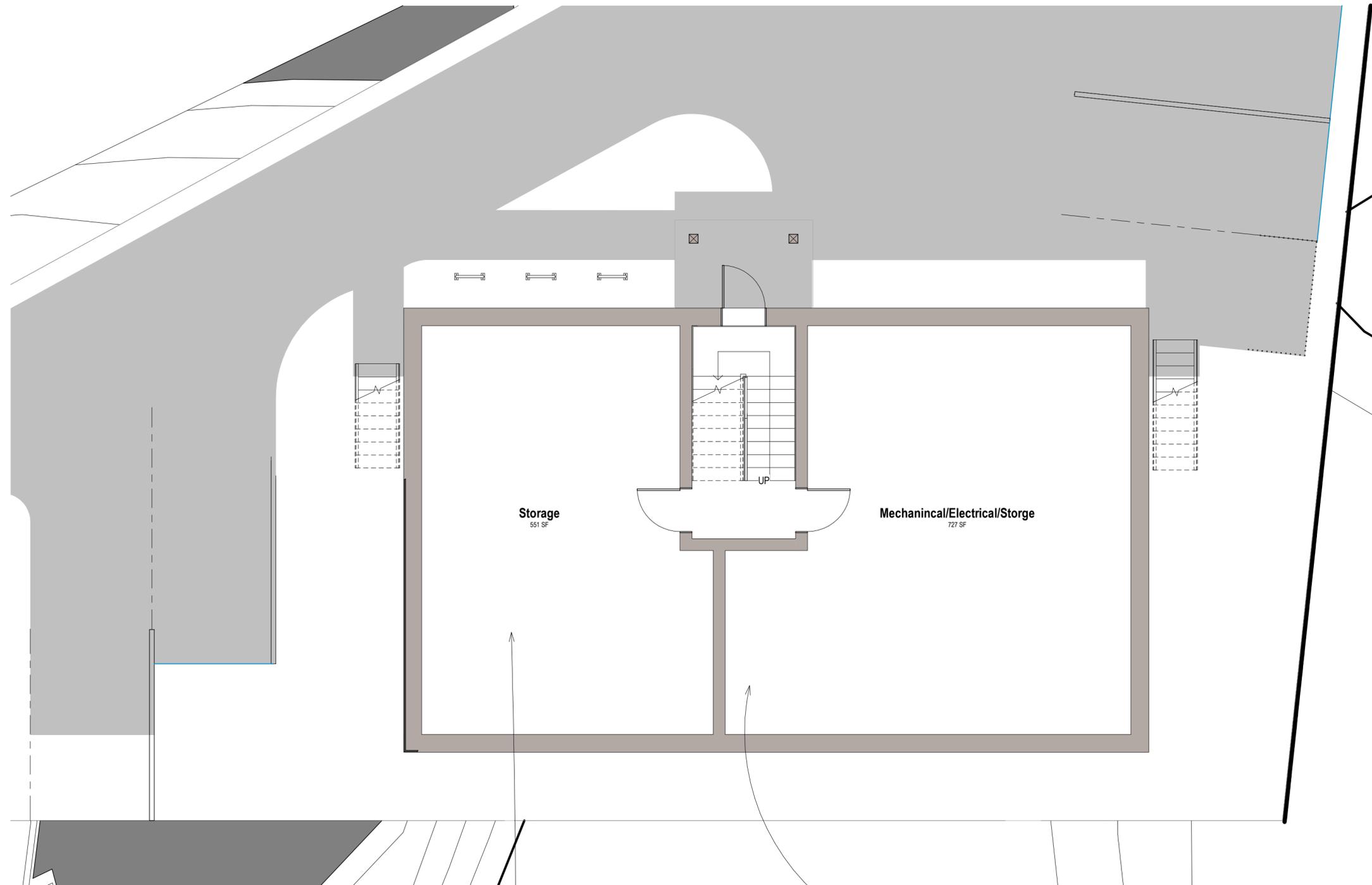
**DEVELOPMENT
APPLICATION**

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GENERAL NOTES

1. All work is, at a minimum, to be completed in accordance with the National Building Code of Canada, latest edition, and in accordance with all other applicable codes, bylaws, and other legal requirements.
2. All Federal, Provincial, and local ordinances, etc., shall be considered as part of the specifications for this building and shall take precedence over anything shown, described, or implied, if and when variances occur.
3. The Builder is to check and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
4. Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
7. Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is complete.
8. Structural engineering, if required, by others.



1 BASEMENT PLAN
3/16" = 1'-0"

EXTENT OF FULL HEIGHT
BASEMENT EXCAVATION T.B.D. ON
SITE

DETAILED DESIGN FOR THIS LEVEL
TO BE COMPLETED AFTER
DEVELOPMENT PERMIT

Rev.	Description	Date
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Client

Project
2 FINDLAY POINT Concept Plans
Yellowknife, NWT

Status
DEVELOPMENT APPLICATION

Sheet Name
Basement Plan

Date 2025-11-25

Drawn by XX

Checked by XX

Sheet Number
A111

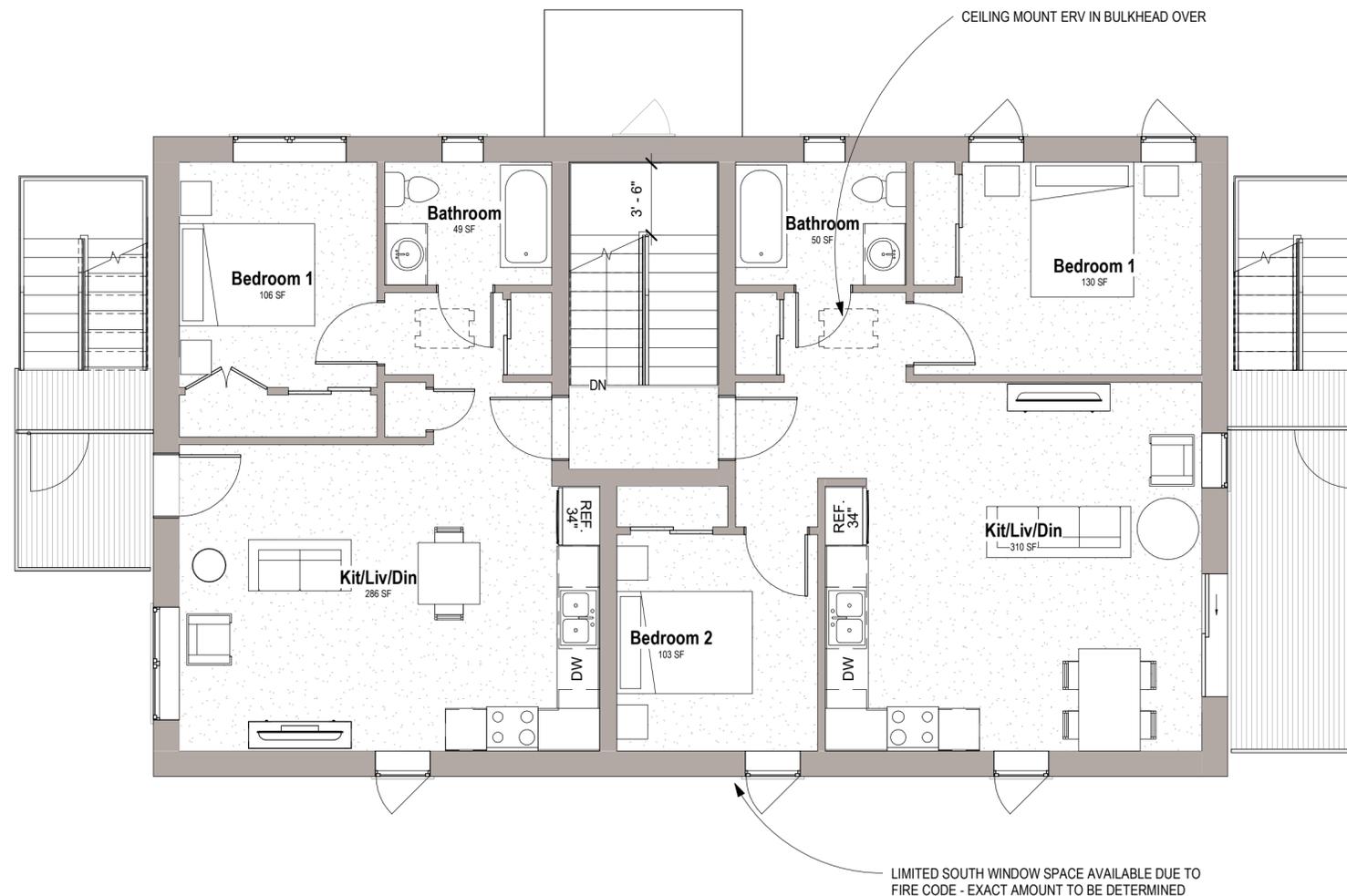


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① FIRST FLOOR PLAN
3/16" = 1'-0"

PLAN NOTES

- All dimensions shown are to the face of finishes.
- All interior finishes are t.b.c. by Owner- trim assumptions and suggestions are as shown in interior finish schedule on this page.
- Confirm all floor to floor heights and stair dimensions on-site, prior to framing.
- If present, stairs are dimensioned to the face of risers or edge of opening, exclusive of trim and nosings.
- Framed openings are to be trimmed similar to doors with similar head height unless noted otherwise.
- Millwork is dimensioned to face of cabinets.
- Millwork materials, construction, and finishes are to be designed by others and approved by Owner before starting construction.
- Framing design assumes 3-1/2" trim on interior doors.
- Bath room sinks, mirrors, & light fixtures are to align with one another.
- If shown, for acoustically insulated walls seal all joints & sills & holes for air-tightness.
- Install smoke and CO detectors as required by Code.

Rev.	Description	Date

Rev.	Description	Date

Client

Project
2 FINDLAY POINT Concept Plans
Yellowknife, NWT

Status
DEVELOPMENT APPLICATION

Sheet Name
First Floor Plan

Date 2025-11-25

Drawn by XX

Checked by XX

Sheet Number
A112

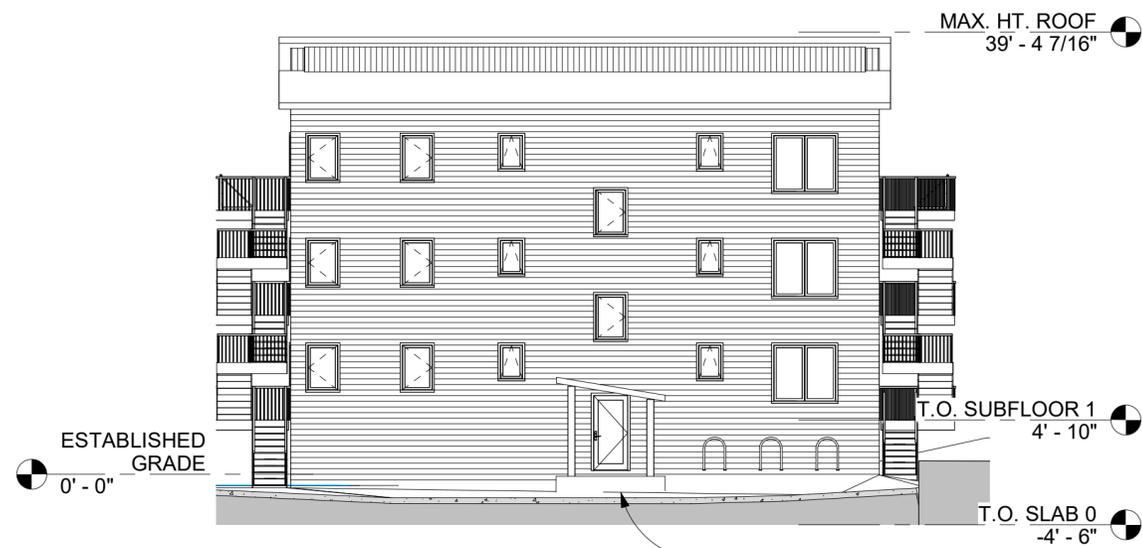


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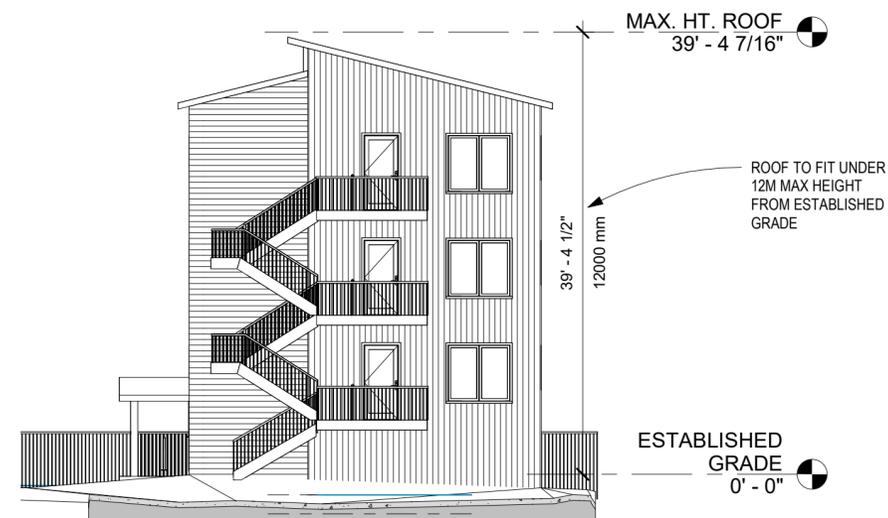
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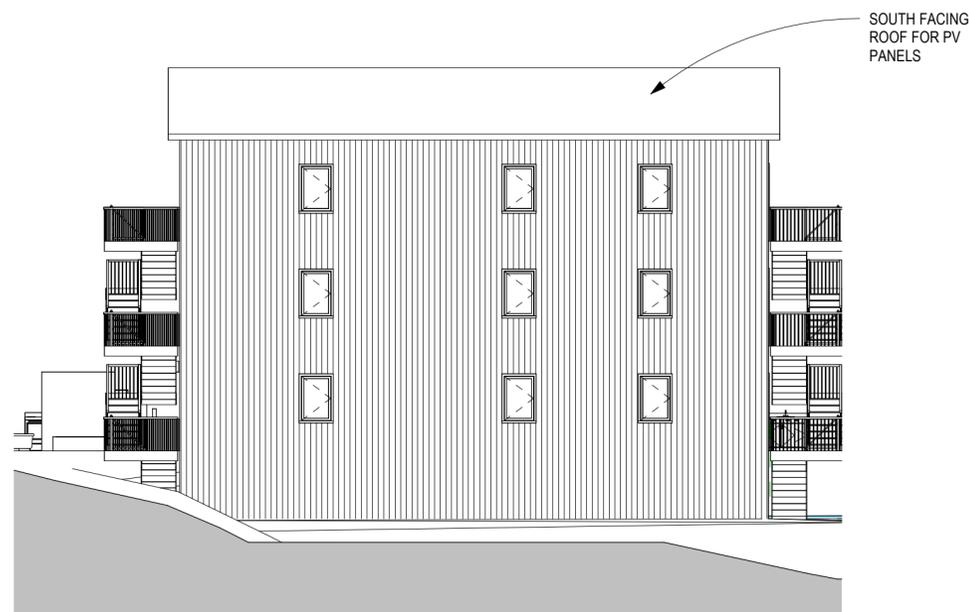


① NORTH ELEVATION
3/32" = 1'-0"

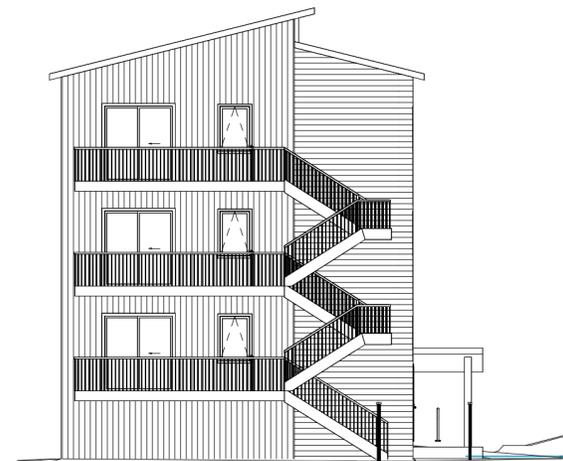
BUILD UP TO DOOR ON STAIR LANDING AS REQUIRED - GRADING TO BE WITHIN 7" OF DOOR HEIGHT



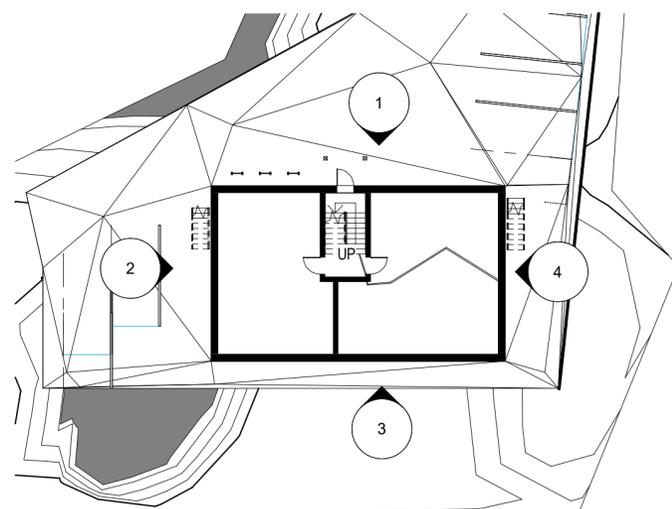
② WEST ELEVATION
3/32" = 1'-0"



③ SOUTH ELEVATION
3/32" = 1'-0"



④ EAST ELEVATION
3/32" = 1'-0"



⑤ ELEVATION KEY PLAN
3/64" = 1'-0"

ELEVATION NOTES

- All exterior trim, finishes, and colours to be confirmed by Owner.
- Site grades shown are generic and may differ from the actual final grades for this project.
- Eavestroughs and downspouts not shown; install where required.
- Roof vents & plumbing stacks not shown; vent area to be min 1:150 (300).
- If possible, do not bring vent stack up through south-facing roof to facilitate solar panel installation.
- Dryer vent, range hood vent, & bath exhaust vents not used; electric range only, and condensing type dryer only.
- Colour all exterior vents & vent hoods to match siding, or stainless.
- Wooden or eq. deck surface is to be minimum 3" below the adjacent inside floor level.
- Solid patio surfaces are to be minimum 6" below the adjacent inside floor level.
- See Window & Door Schedule for window & door head & sill heights, page A001
- All bedrooms are to have windows that meet Code for egress requirements.
- Screen doors not shown in elevation.

Rev.	Description	Date
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Client		
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Project	2 FINDLAY POINT Concept Plans Yellowknife, NWT	
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Status	DEVELOPMENT APPLICATION	
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Sheet Name	Elevations	
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Date	2025-11-25	
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Drawn by	XX	
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Checked by	XX	
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Sheet Number	A201	
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Hi Bassel,

Below is the information I entered into the system with respect to the variance request.

Rear Yard Variance Request

Description of Variance

We are requesting a variance to the minimum 6.0 m rear yard setback required under the applicable Zoning By-law for the property at 2 Findlay Point. The proposed building encroaches into the required rear yard setback by: 1,970 mm at one end of the rear building elevation, and 2,973 mm along the remaining portion of the rear elevation. As a result, the proposed rear yard setbacks are reduced from the required 6.0 m at these locations and require approval through a variance as part of the Development Permit application.

Rationale for Rear Yard Variance

The requested rear yard variance is minor and site-specific and reflects practical constraints related to the irregular shape of the lot, required site levelling, and on-site parking configuration. The site contains exposed bedrock and will be blasted and levelled as part of the development regardless of building placement. However, accommodating the full 6.0 m rear yard setback would materially constrain the buildable area, complicate driveway and parking layout, and require additional grading and retaining structures beyond what is otherwise required to develop the site efficiently.

The proposed building location allows for:

A functional and compliant parking arrangement at the front and rear of the site; Effective grading and drainage following site levelling; and Efficient use of the buildable area on an irregularly shaped lot.

The encroachment into the rear yard setback is limited in extent, does not increase building height, density, or unit count, and does not create adverse impacts on adjacent properties. The proposal maintains the overall intent of the 6.0 m rear yard setback while enabling a practical and well-functioning site layout. Overall, the variance is reasonable, proportionate, and consistent with the planning objectives of the City of Yellowknife, supporting efficient infill development while respecting neighbourhood character.

Mitigating Measures

As a mitigating measure for the reduced rear yard setback, we propose the installation of a fence along the rear property line section without a fence. The fence will provide a clear physical buffer between the proposed development and the adjacent property, helping to mitigate potential impacts related to privacy, separation, and site definition.

The proposed fencing will further ensure that the reduced setback does not result in adverse effects on neighbouring properties and will support compatibility with the surrounding residential area.

Thank you,
Edwin