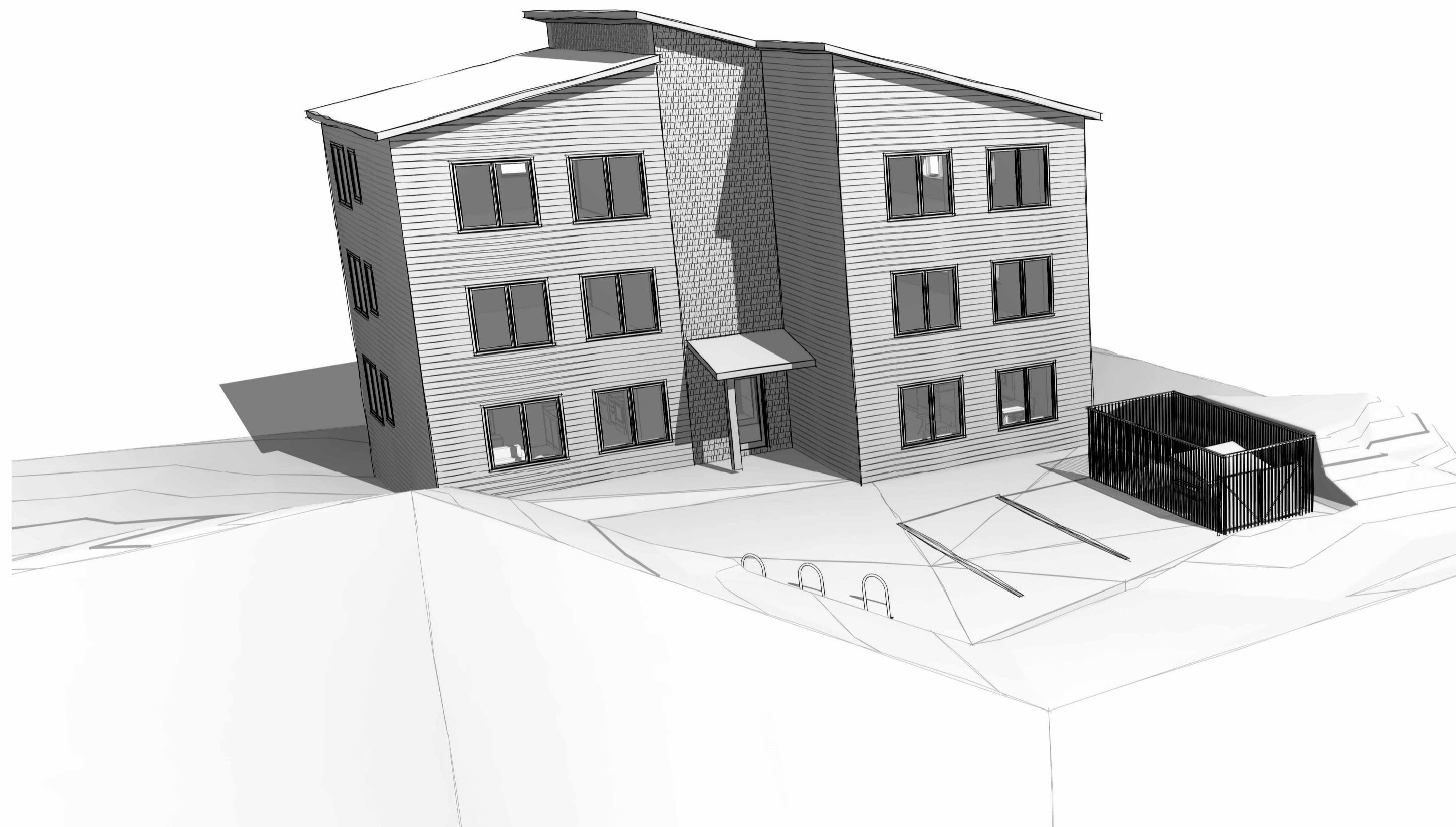


DRAWING LIST

A100	Site Plan
A101	Landscaping Plan
A111	Basement Plan
A112	First Floor Plan
A201	Elevations
A301	Building Sections



2 FINDLAY POINT Concept Plans

Yellowknife, NWT

The Builder is responsible to check and verify all dimensions on this plan for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.

Our plan drawing sets do not take into account site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.

No warranties are either expressed, implied, or guaranteed by this document. It is assumed that the builder has a good knowledge of building physics and the construction techniques necessary to prevent building degradation.

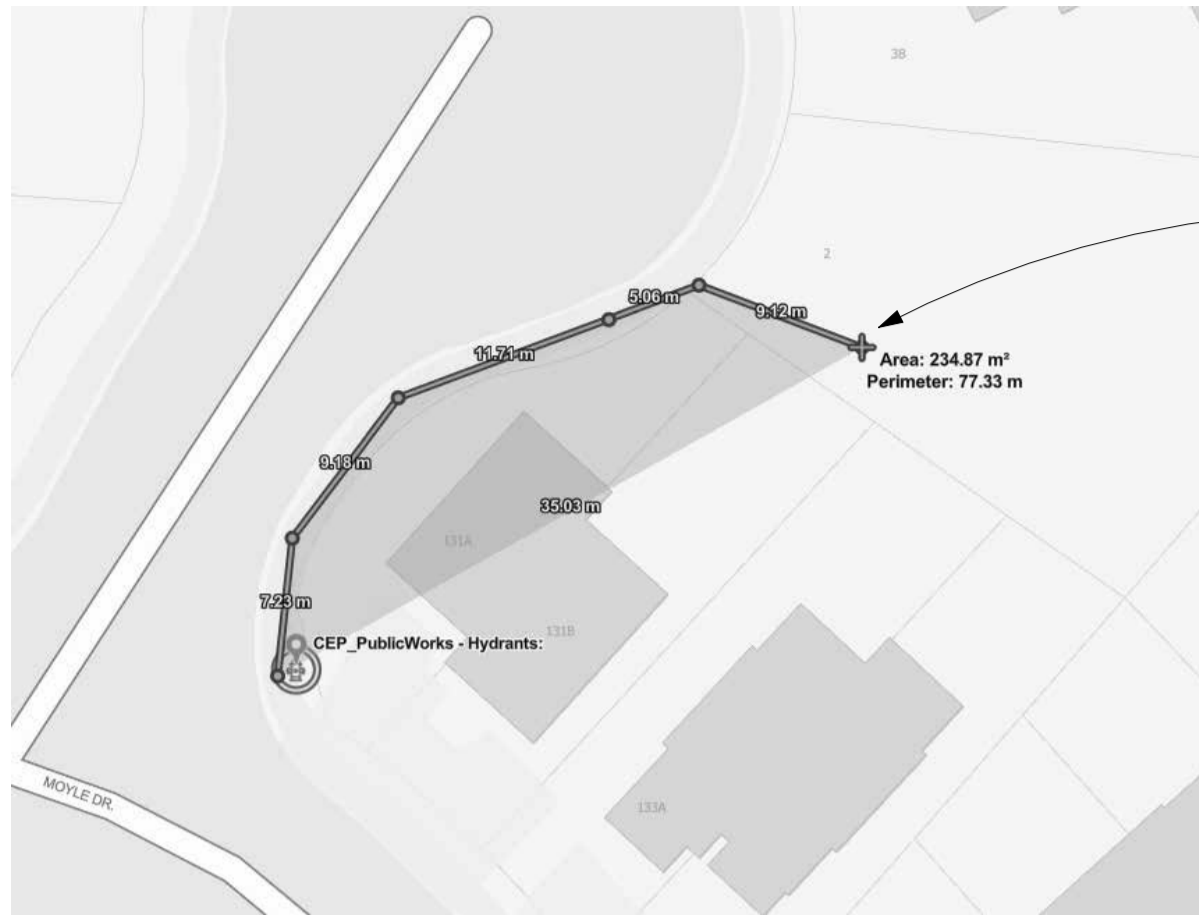
Client

508416 NWT Ltd.

Date

2026-04-19

**DEVELOPMENT
APPLICATION**



DISTANCE TO FROM HYDRANT TO FIRE DEPARTMENT CONNECTION APPROX. 43m HOSE LAY AS SHOWN (FROM CITY EXPLORER)

Area: 234.87 m²
Perimeter: 77.33 m

LOT ZONE: R1
 LOT AREA: 6114 SF
 BUILDING AREA: 1828 SF
 LOT COVERAGE: 29%
 TOTAL GROSS AREA: 5484 SF (EXCLUDING CRAWLSPACE)
 BUILDING HEIGHT: 3 STORIES PLUS CRAWLSPACE (<2M FROM ESTABLISHED GRADE)
 TOTAL UNITS: 3- 1 BED AND 3- 2 BED
 TOTAL PARKING: 1 SPACE + 1 CAR-SHARE SPACE
 TOTAL BIKE PARKING: 6 SPACES

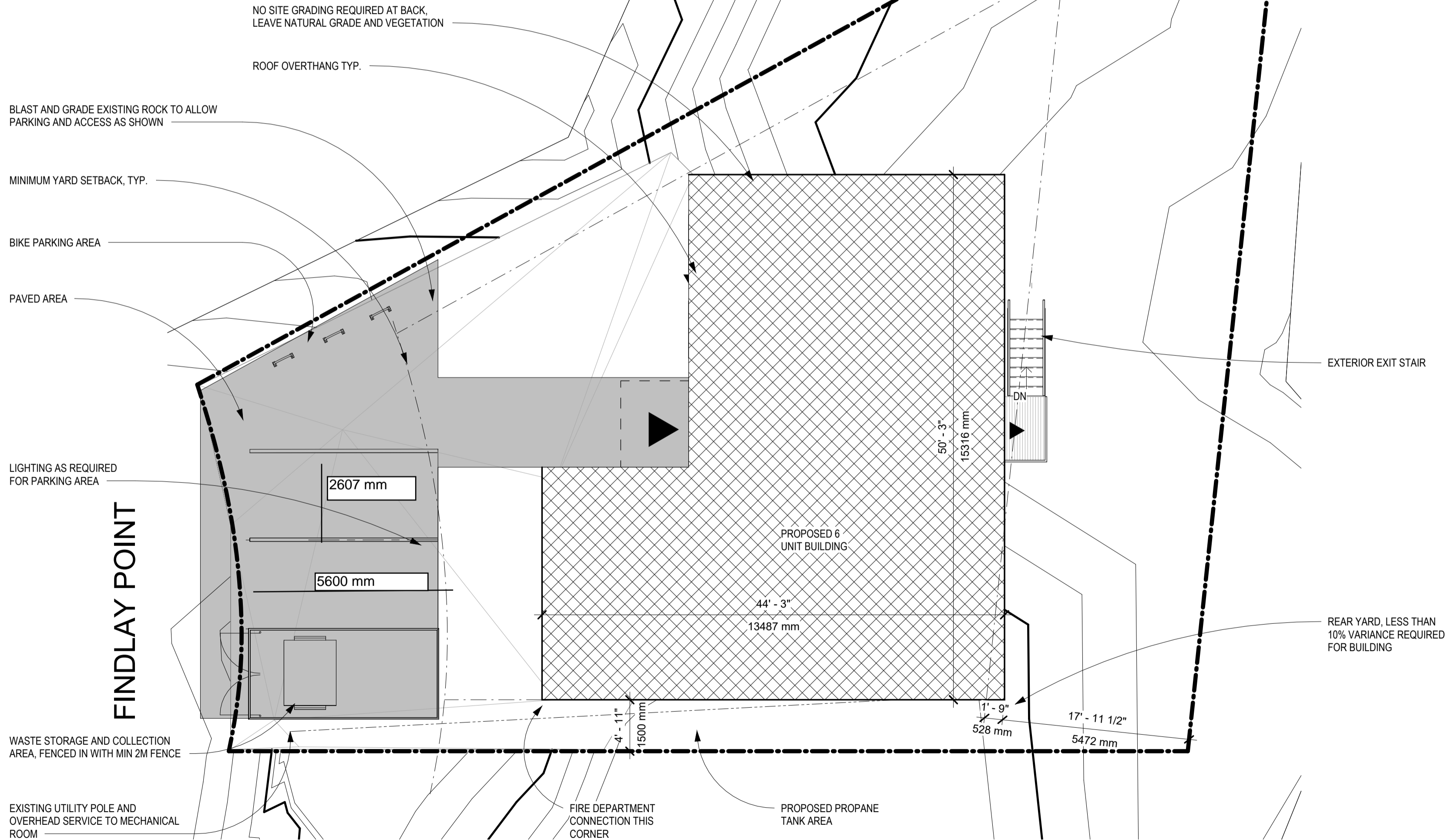


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GENERAL NOTES

- All work is, at a minimum, to be completed in accordance with the National Building Code of Canada, latest edition, and in accordance with all other applicable codes, bylaws, and other legal requirements.
- All Federal, Provincial, and local ordinances, etc., shall be considered as part of the specifications for this building and shall take precedence over anything shown, described, or implied, if and when variances occur.
- The Builder is to check and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
- Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
- Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
- This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
- Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is complete.
- Structural engineering, if required, by others.



NO SITE GRADING REQUIRED AT BACK, LEAVE NATURAL GRADE AND VEGETATION

ROOF OVERHANG TYP.

BLAST AND GRADE EXISTING ROCK TO ALLOW PARKING AND ACCESS AS SHOWN

MINIMUM YARD SETBACK, TYP.

BIKE PARKING AREA

PAVED AREA

LIGHTING AS REQUIRED FOR PARKING AREA

FINDLAY POINT

WASTE STORAGE AND COLLECTION AREA, FENCED IN WITH MIN 2M FENCE

EXISTING UTILITY POLE AND OVERHEAD SERVICE TO MECHANICAL ROOM

FIRE DEPARTMENT CONNECTION THIS CORNER

PROPOSED PROPANE TANK AREA

REAR YARD, LESS THAN 10% VARIANCE REQUIRED FOR BUILDING

Rev.	Description	Date

Rev.	Description	Date

Client
508416 NWT Ltd.

Project
2 FINDLAY POINT Concept Plans
Yellowknife, NWT

Status
DEVELOPMENT APPLICATION

Sheet Name
Site Plan

Date
2026-04-19

Drawn by
XX

Checked by
XX

	Sheet Number
	A100

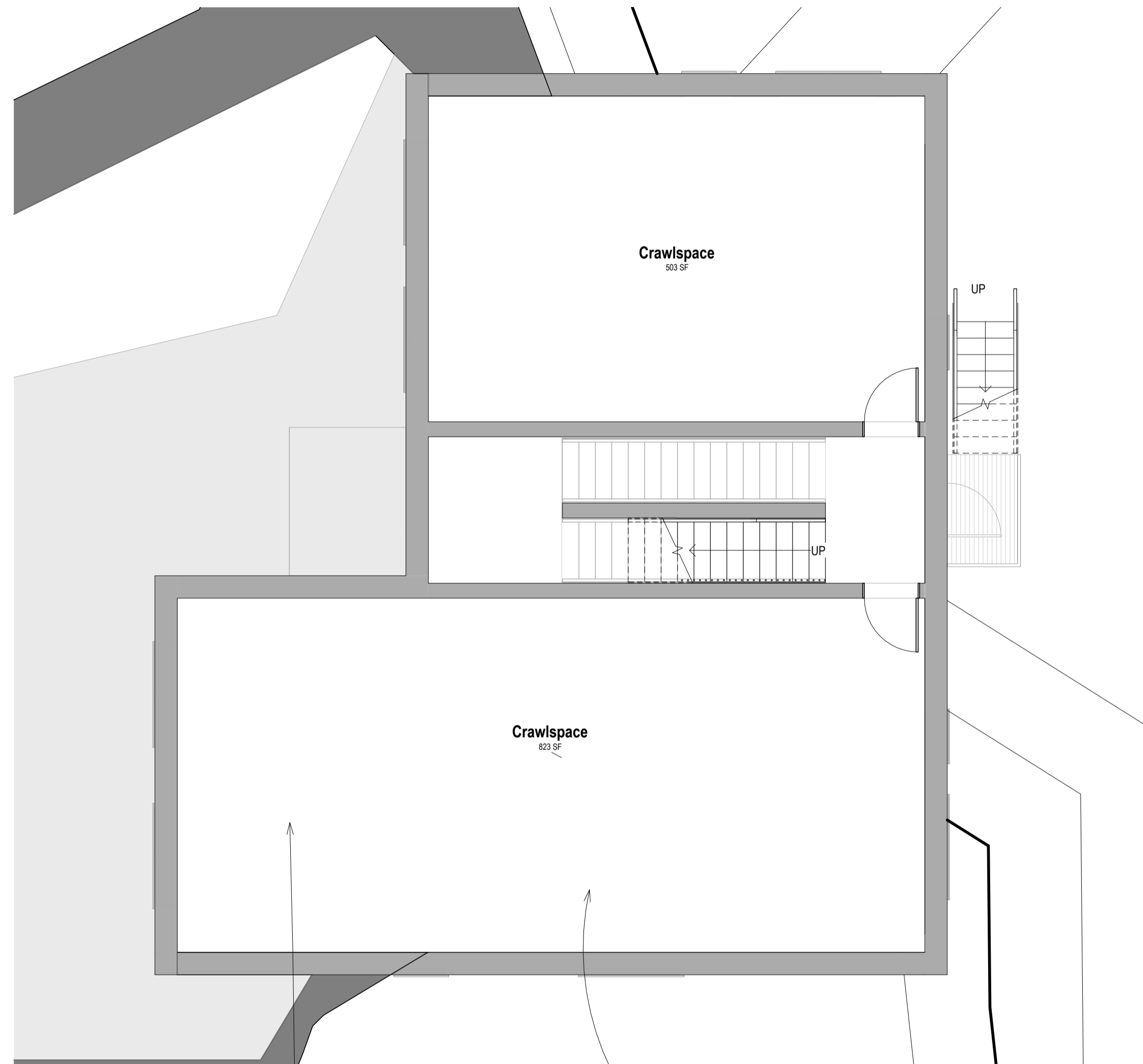
① SITE PLAN
1/8" = 1'-0"

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8. Structural engineering, if required, by others.



1 BASEMENT PLAN
3/16" = 1'-0"

EXTENT OF FULL HEIGHT
BASEMENT EXCAVATION T.B.D. ON
SITE

DETAILED DESIGN FOR THIS LEVEL
TO BE COMPLETED AFTER
DEVELOPMENT PERMIT

Rev.	Description	Date
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Client
508416 NWT Ltd.

Project
2 FINDLAY POINT Concept Plans
Yellowknife, NWT

Status
DEVELOPMENT APPLICATION

Sheet Name
Basement Plan

Date 2026-04-19

Drawn by XX

Checked by XX

Sheet Number
A111



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Rev.	Description	Date
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Client
 508416 NWT Ltd.

Project
 2 FINDLAY POINT Concept Plans
 Yellowknife, NWT

Status
 DEVELOPMENT APPLICATION

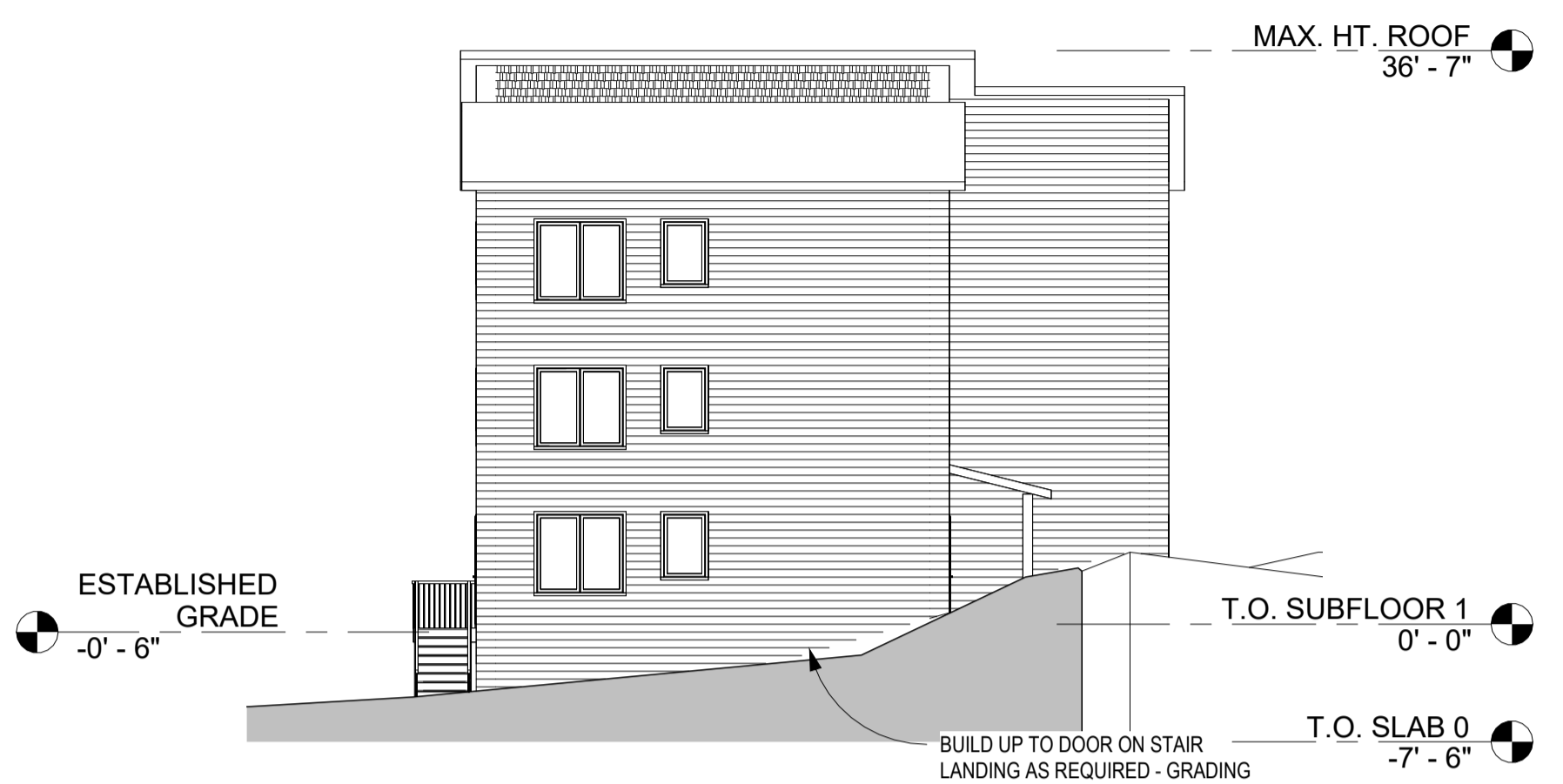
Sheet Name
 Elevations

Date
 2026-04-19

Drawn by
 XX

Checked by
 XX

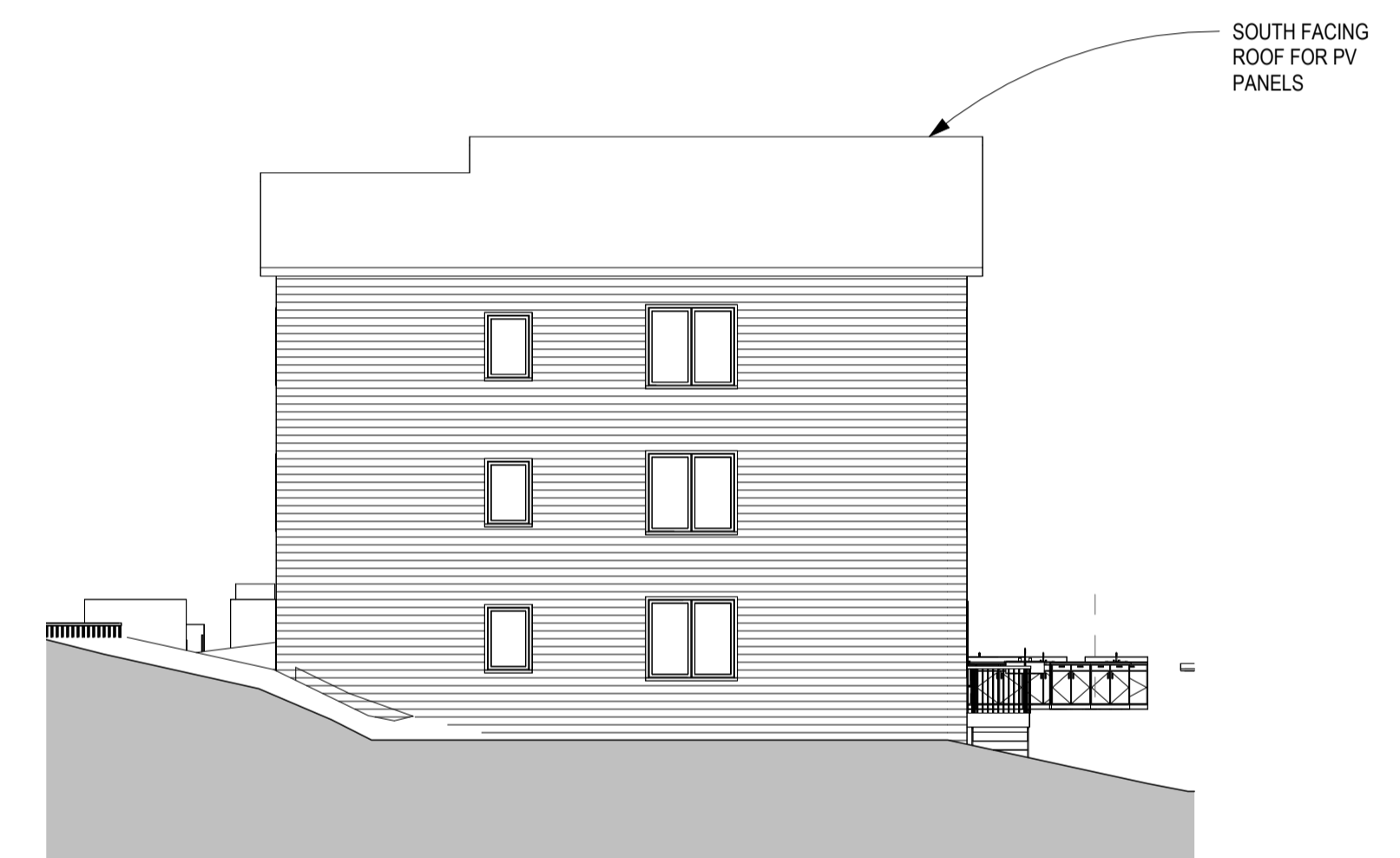
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A201



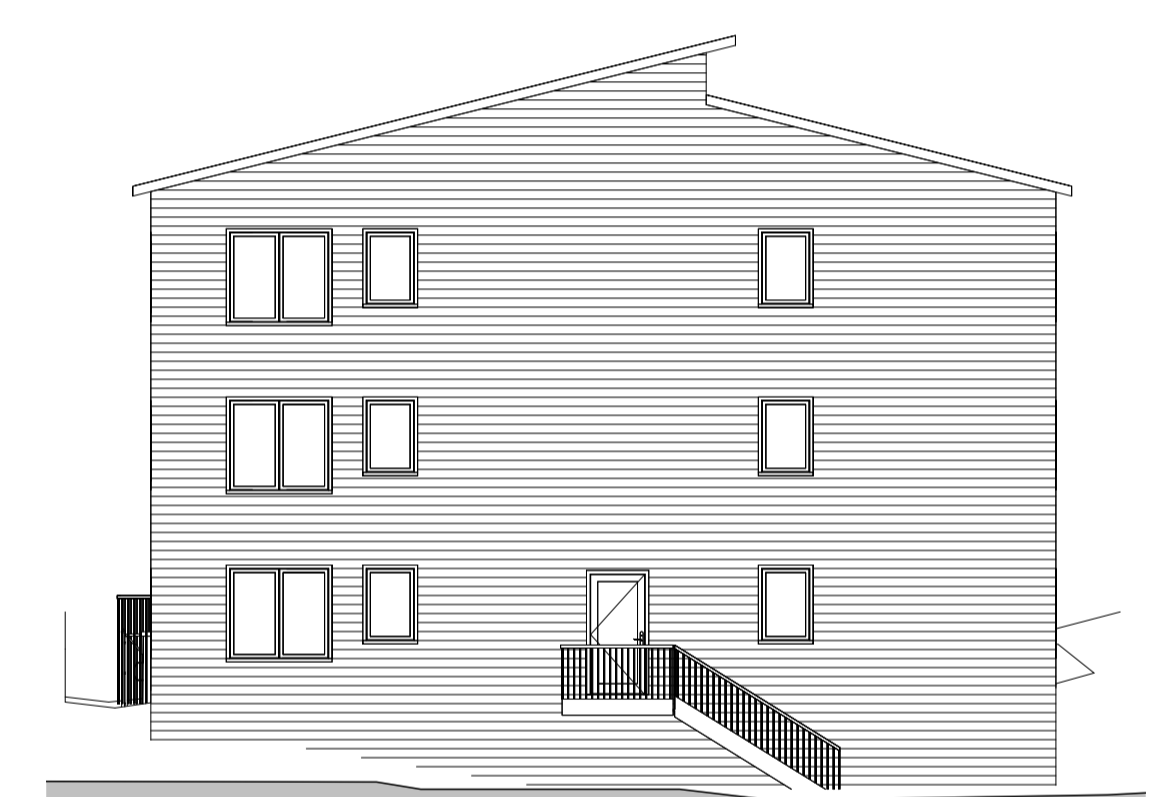
① NORTH ELEVATION
 3/32" = 1'-0"



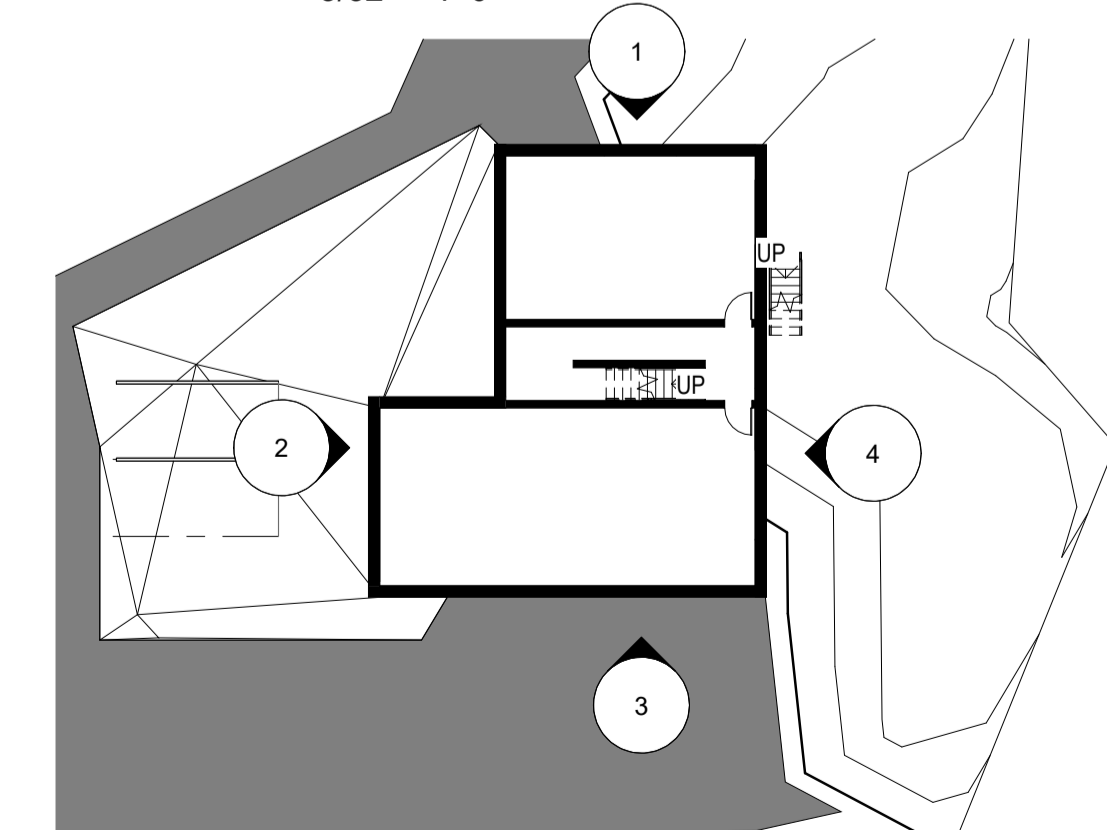
② WEST ELEVATION
 3/32" = 1'-0"



③ SOUTH ELEVATION
 3/32" = 1'-0"



④ EAST ELEVATION
 3/32" = 1'-0"



⑤ ELEVATION KEY PLAN
 3/64" = 1'-0"

ELEVATION NOTES

- All exterior trim, finishes, and colours to be confirmed by Owner.
- Site grades shown are generic and may differ from the actual final grades for this project.
- Eavestroughs and downspouts not shown; install where required.
- Roof vents & plumbing stacks not shown; vent area to be min 1:150 [300].
- If possible, do not bring vent stack up through south-facing roof to facilitate solar panel installation.
- Dryer vent, range hood vent, & bath exhaust vents not used; electric range only, and condensing type dryer only.
- Colour all exterior vents & vent hoods to match siding, or stainless.
- Wooden or eq. deck surface is to be minimum 3" below the adjacent inside floor level.
- Solid patio surfaces are to be minimum 6" below the adjacent inside floor level.
- See Window & Door Schedule for window & door head & sill heights, page A001
- All bedrooms are to have windows that meet Code for egress requirements.
- Screen doors not shown in elevation.

